



**RENDERING**  
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**PROJECT SUMMARY**

11402 Sonoran Desert Pkwy  
Scottsdale, AZ 85262

**THE SAGUARO**

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**GENERAL NOTES:**

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

**THE SAGUARO**

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FIRE DISTRICT: CITY OF SCOTTSDALE

WATER/SEWER: SCOTTSDALE WATER & SEWER

STORM WATER PERMIT: \_\_\_\_\_

BUILDING PERMIT: \_\_\_\_\_

DESIGNER: \_\_\_\_\_

DESIGN CONSULTANT: \_\_\_\_\_

BUILDER: \_\_\_\_\_

SITE DISTURBANCE: \_\_\_\_\_

ENGINEERING: \_\_\_\_\_



### PROJECT NARRATIVE

THE PROPOSED SITE LOCATION IS 11402 SONORAN DESERT PKWY SCOTTSDALE, AZ 85262. LOT 11 SONORAN HILLS AT TROON NORTH, MARICOPA COUNTY. THE PROPOSED PROJECT INCLUDES A SINGLE-FAMILY RESIDENCE. ZONING R-4 ESL

LOT SIZE: 20,998 SF / .48 ACRE  
 ANTICIPATED DISTURBED AREA: 9,800 SF (47%)  
 NATURAL AREA OPEN SPACE (NAOS) MIN. 20%  
 BLDG. ENVELOPE:  
 ROOF: 5,142 SF  
 FRONT/REAR HEIGHT: 26.9' (30' LIMIT)  
 LIVABLE SF: 4,887  
 MAIN: 2,991  
 2ND: 1,896  
 FOUNDATION: 4,169  
 GARAGE: 1,044  
 PATIOS/WALKS: 1,813  
 DRIVEWAY: 1,258

### LANDSCAPE NOTES

- NO SAGUARO CACTUS SHALL BE REMOVED WITH NO SIGNOFF FROM THE CITY AND HOMEOWNER.
- CONTRACTOR RESPONSIBLE FOR LANDSCAPING - TURF, CACTI, TREES, SHRUBS, ETC.
- IRRIGATION SYSTEM SHALL BE STUBBED IN WITH VALVE BOX AND IRRIGATION MAIN LINES RUN UNDER CONCRETE. CONTRACTOR SHALL PROVIDE FINISH HEADS AND LINES.
- CONTRACTOR RESPONSIBLE FOR POOL & EQUIPMENT.

### GRADING NOTES

- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
- ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
- PLACE FILL SLOPES WITH A GRADIENT STEEPER THAN 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

### SITE PLAN NOTES

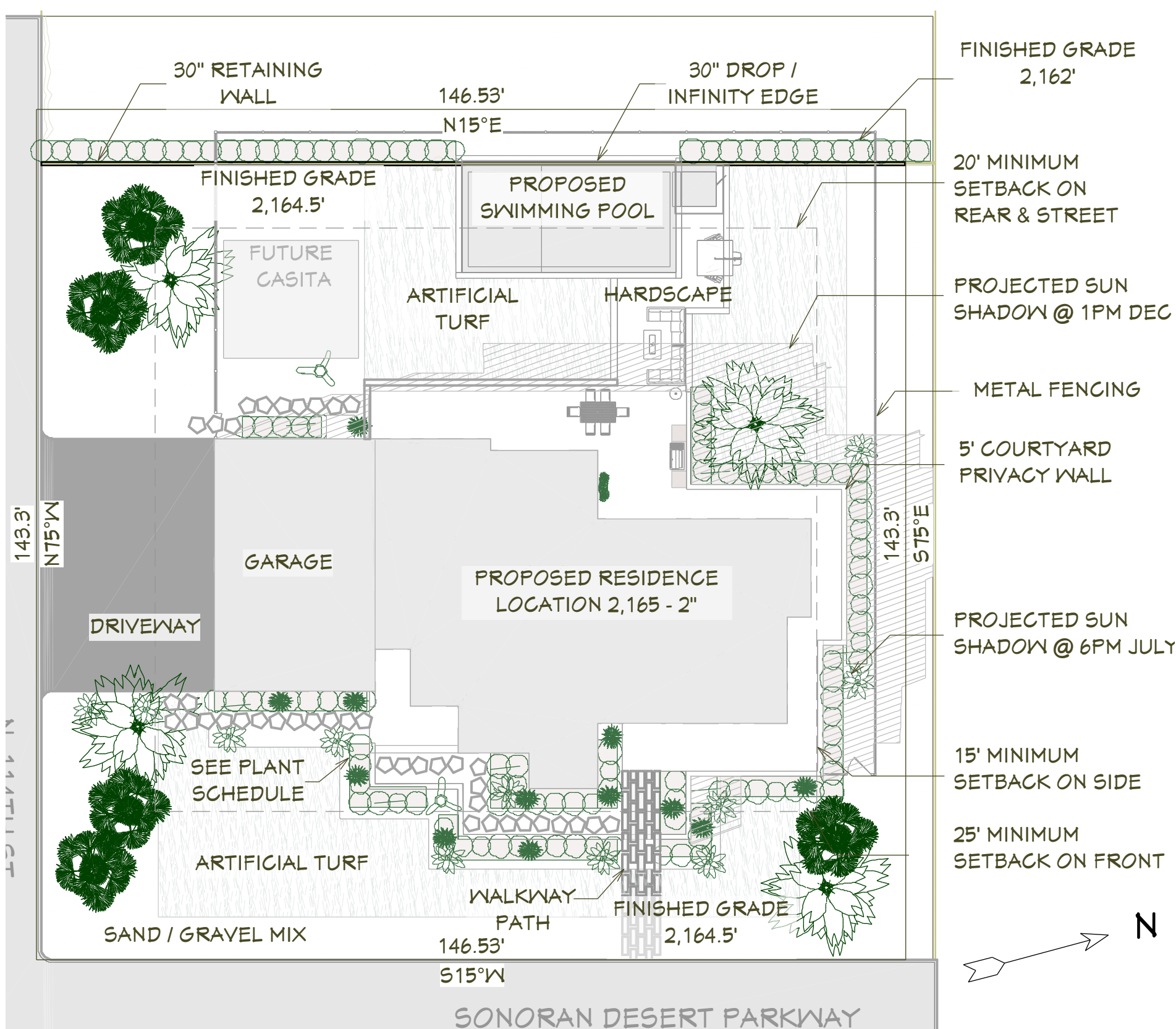
SOIL: \*2,000 PSF ALLOWABLE (ASSUMED) TO BE AT TIME OF EXCAVATION. SHALLOW AND MODERATELY DEEP, WELL-DRAINED SOIL FORMED IN MATERIAL WEATHERED FORM CLAY AND SAND THAT HAS A SMALL AMOUNT OF LOESS IN THE UPPER PART OF THE PROFILE. THE PERMEABILITY IS ESTIMATED TO BE FAIR.

FROST DEPTH: 2"  
 SEISMIC ZONE: 1  
 WIND: 95 MPH (CATEGORY I)  
 EXPOSURE B

SITE SURVEY TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.

MARKED TREES SHALL BE REMOVED PRIOR TO SITE WORK.

CALL BEFORE YOU DIG: 800.428.495

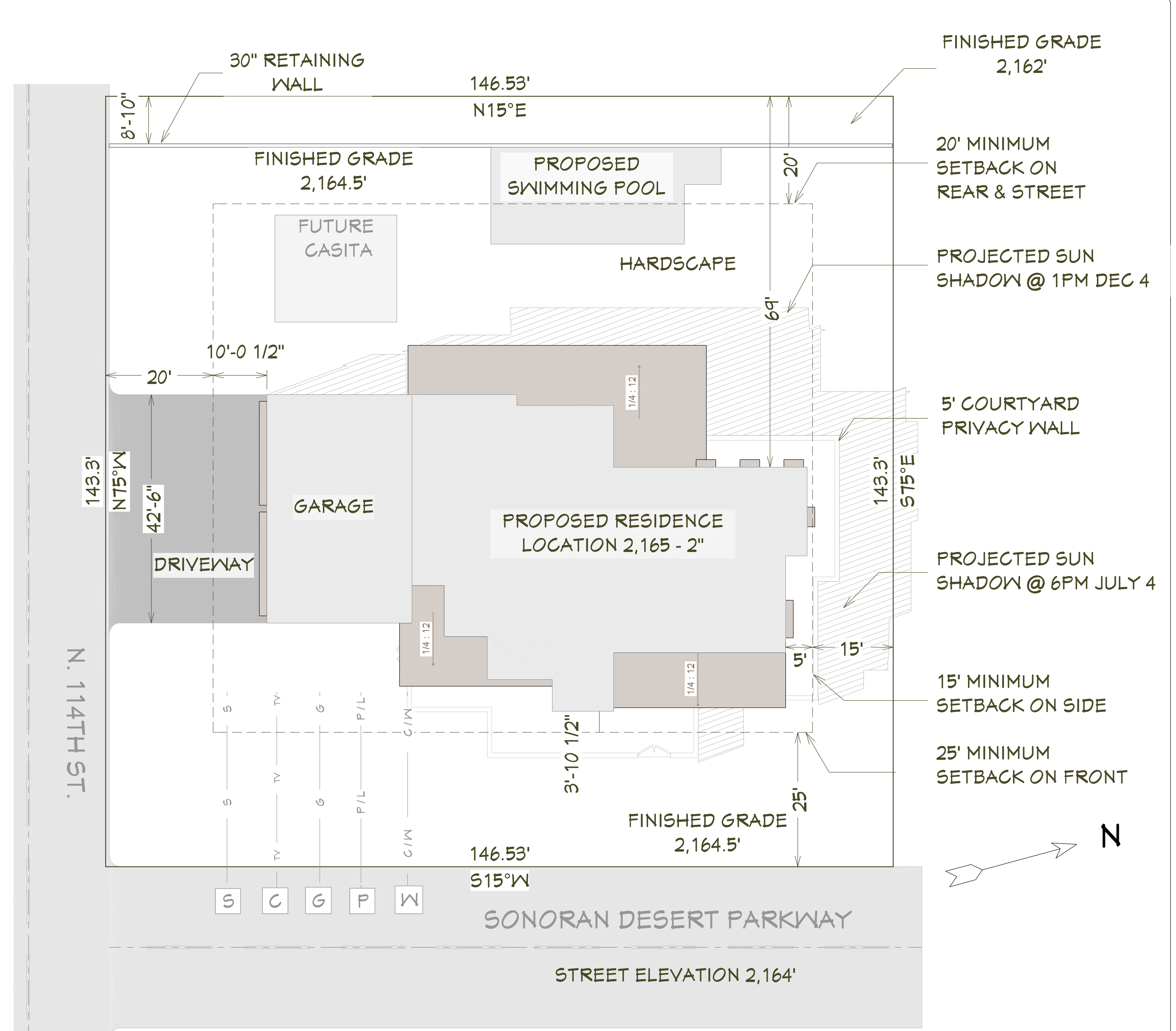
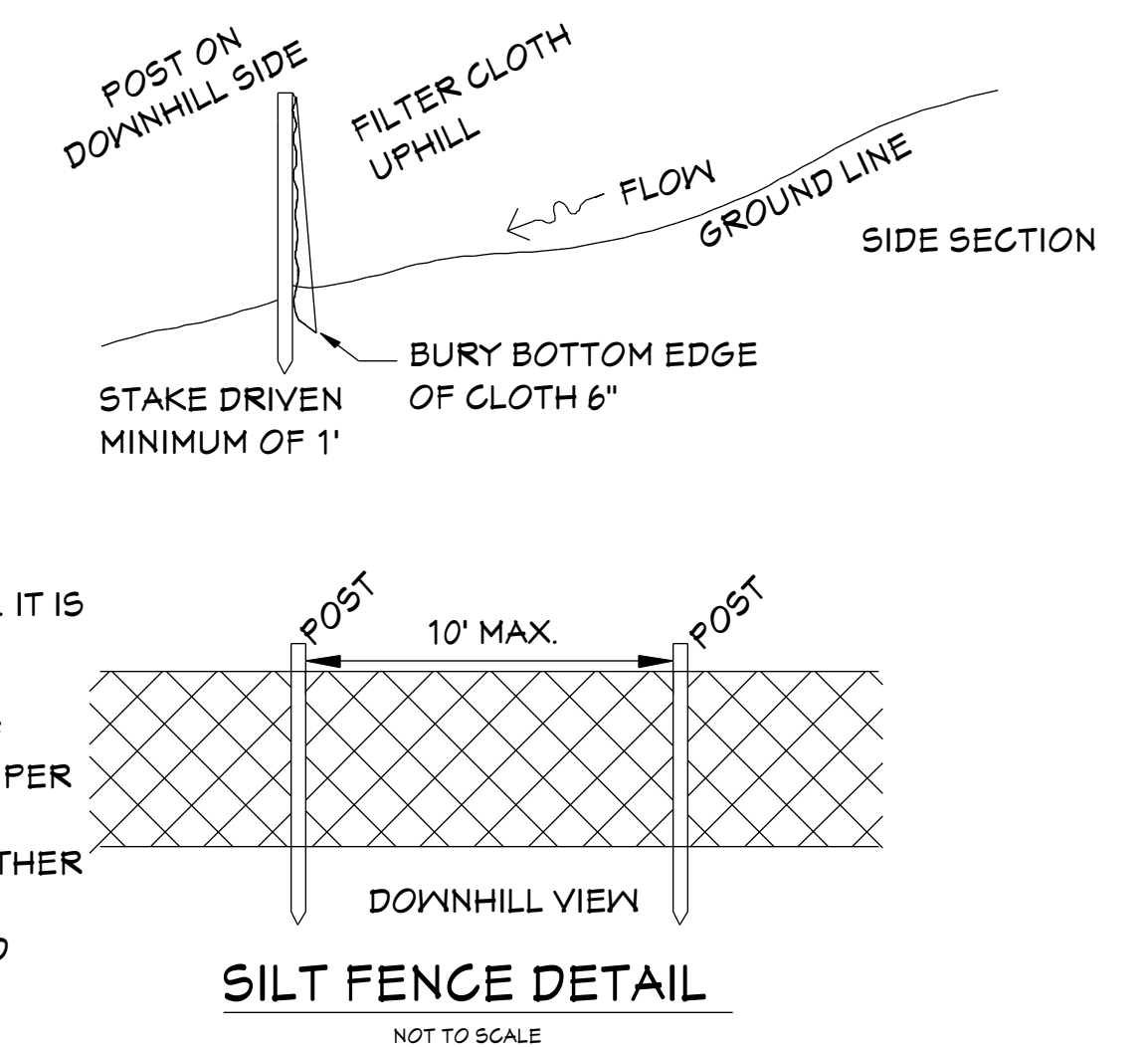


### UTILITY LEGEND

C	CABLE	TV
G	GAS	G
P	POWER	P/L
S	SEWER	S
W	WATER	C/W

### EROSION CONTROL NOTES

- INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.
- ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
- HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000# / ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURER'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER.
- STRIP SWALES, IF REQUIRED, SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW SWALES.



### SITE & DISTURBANCE PLAN

1"=12'

SHEET NUMBER

2

SCALE @ 24" X 36"

DATE:

DRAWN BY:

## SITE & DISTURBANCE PLAN

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THE SAGAURO

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**EXTERIOR KEY NOTES**

- 1 SEAMED METAL SIDING
- 2 EIFS STUCCO
- 3 PARAPET WALL W/CAP, SEE DETAIL
- 4 TEMPERED GLASS PANEL GARAGE DOORS
- 5 24" WINDOW SHADING
- 6 SEAMED METAL ROOFING; JOIST ROOF FRAMING, PER PLAN
- 7 MOMENT FRAMING, PER PLAN
- 8 SEAMLESS CORNER WINDOW
- 9 RETRACTABLE SLIDING DOOR
- 10 EXTERIOR & INTERIOR FOOTINGS SHALL BEAR MIN. 18" BELOW UNDIST. OR ENG. SOL.

SHEET NUMBER

**3**

SCALE @ 24" X 36"

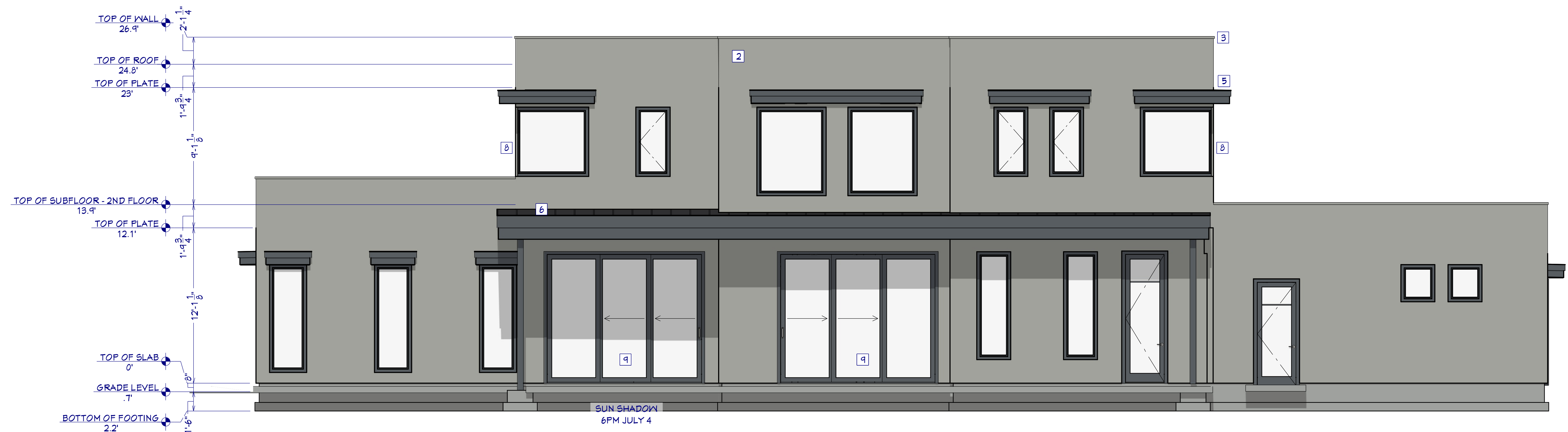
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**FRONT & REAR ELEVATIONS**

**FRONT ELEVATION**

1/4"=1'



**REAR ELEVATION**

1/4"=1'

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**N. SIDE ELEVATION**  
1/4"=1'



**S. SIDE ELEVATION**  
1/4"=1'

**EXTERIOR KEY NOTES**

- 1 SEAMED METAL SIDING
- 2 EIFS STUCCO
- 3 PARAPET WALL W/CAP, SEE DETAIL
- 4 TEMPERED GLASS PANEL GARAGE DOORS
- 5 24" WINDOW SHADING
- 6 SEAMED METAL ROOFING; JOIST ROOF FRAMING, PER PLAN
- 7 MOMENT FRAMING, PER PLAN
- 8 SEAMLESS CORNER WINDOW
- 9 RETRACTABLE SLIDING DOOR
- 10 EXTERIOR & INTERIOR FOOTINGS SHALL BEAR MIN. 18" BELOW UNDIST. OR ENG. SOL

SHEET NUMBER

**4**

SCALE @ 24" X 36"

DATE:

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**SIDE ELEVATIONS**

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**BUILDING PERFORMANCE:**

1. HEAT LOSS CALCULATIONS SHALL COMPLY WITH RESCHECK AND/OR REQUIREMENTS OF LOCAL CODES. WINTER DESIGN TEMP = 31F, SUMMER DESIGN TEMP = 105F. SEE CITY OF SCOTTSDALE RESIDENTIAL GREEN BUILDING RATING WORKSHEET
2. PORCHES, DECKS, BALCONIES, FOUNDATION AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.
3. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.
4. IF THERE IS THERE IS A CRAWLSPACE, VENTING TO MEET LOCAL CODE REQUIREMENTS INSULATE ALL ACCESS DOORS/HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE, UNO.
5. INSULATE FOUNDATION SLAB PER PLAN.
6. MINIMUM INSULATION:
 

ROOF/CEILING	R-50
WALLS	R-21
FLOORS	R-30 FLR 1



Project The Sagauro

Energy Code: 2021 IECC  
 Location: Scottsdale, Arizona  
 Construction Type: Single-family  
 Project Type: New Construction  
 Orientation: Bldg. faces 105 deg. from North  
 Conditioned Floor Area: 4,887 R2  
 Glazing Area: 25%  
 Climate Zone: 2 (1366 HDD)

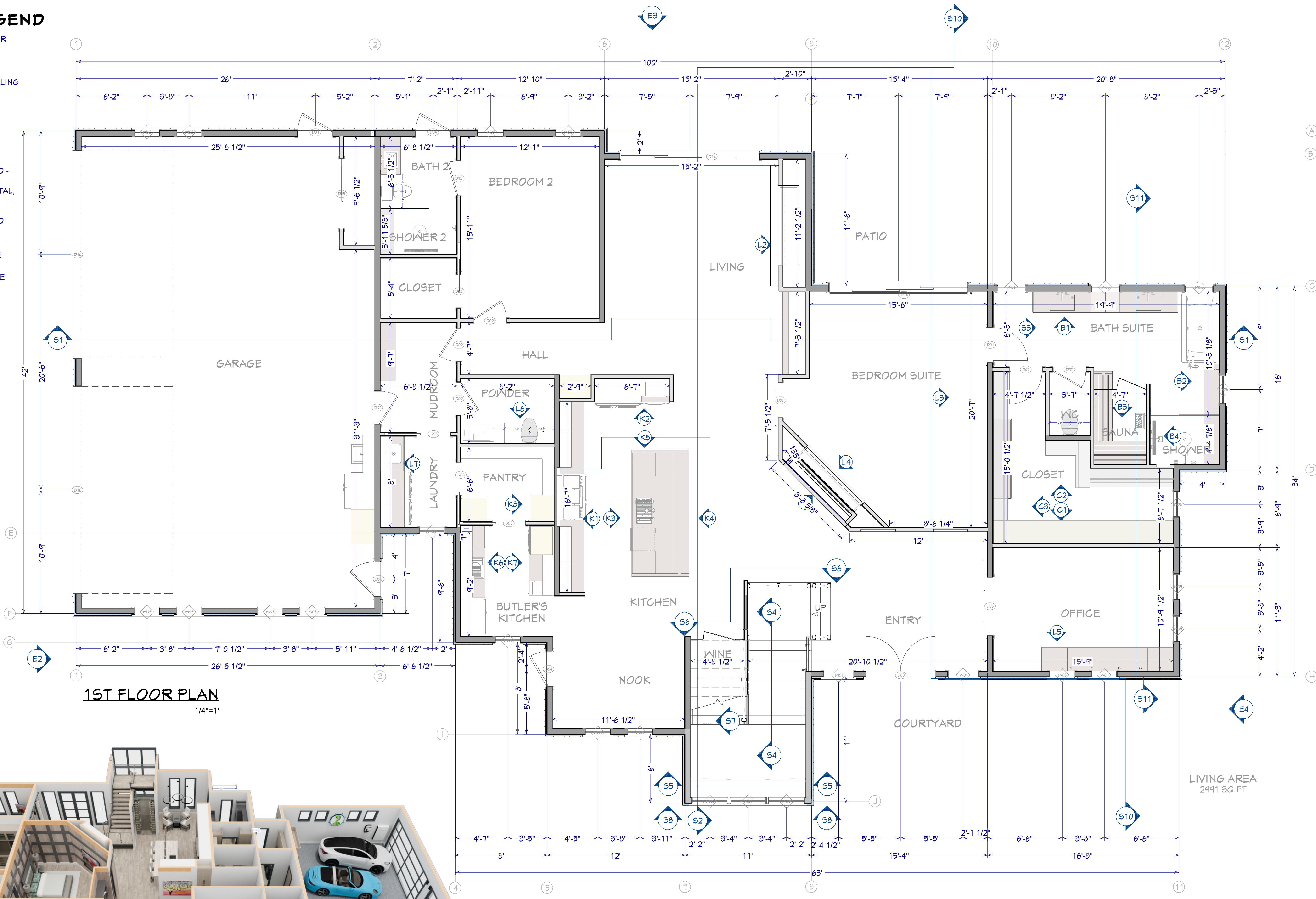
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**WALL LEGEND**

- ROOM DIVIDER
- GLASS WALL
- INTERIOR RAILING
- INTERIOR-4
- INTERIOR-6
- STUCCO-6-INSULATED
- STUCCO-6-DOUBLESIDED-THICK
- SIDING-6, METAL, INSULATED
- STUCCO-6-DOUBLESIDED
- STUCCO-EXTERIOR
- 8" CONCRETE STEM WALL
- 10" CONCRETE STEM WALL
- DECK/FENCE



**1ST FLOOR PLAN**  
1/4"=1'



**OVERVIEW RENDERING**  
FOR ILLUSTRATION ONLY NO SCALE

- FLOOR PLAN NOTES:**
1. ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER.
  2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

SHEET NUMBER  
**5**






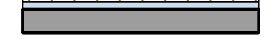







SCALE @ 24" X 36"  
DATE:  
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**MAIN FLOOR PLAN**

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**THE SAGAORO**

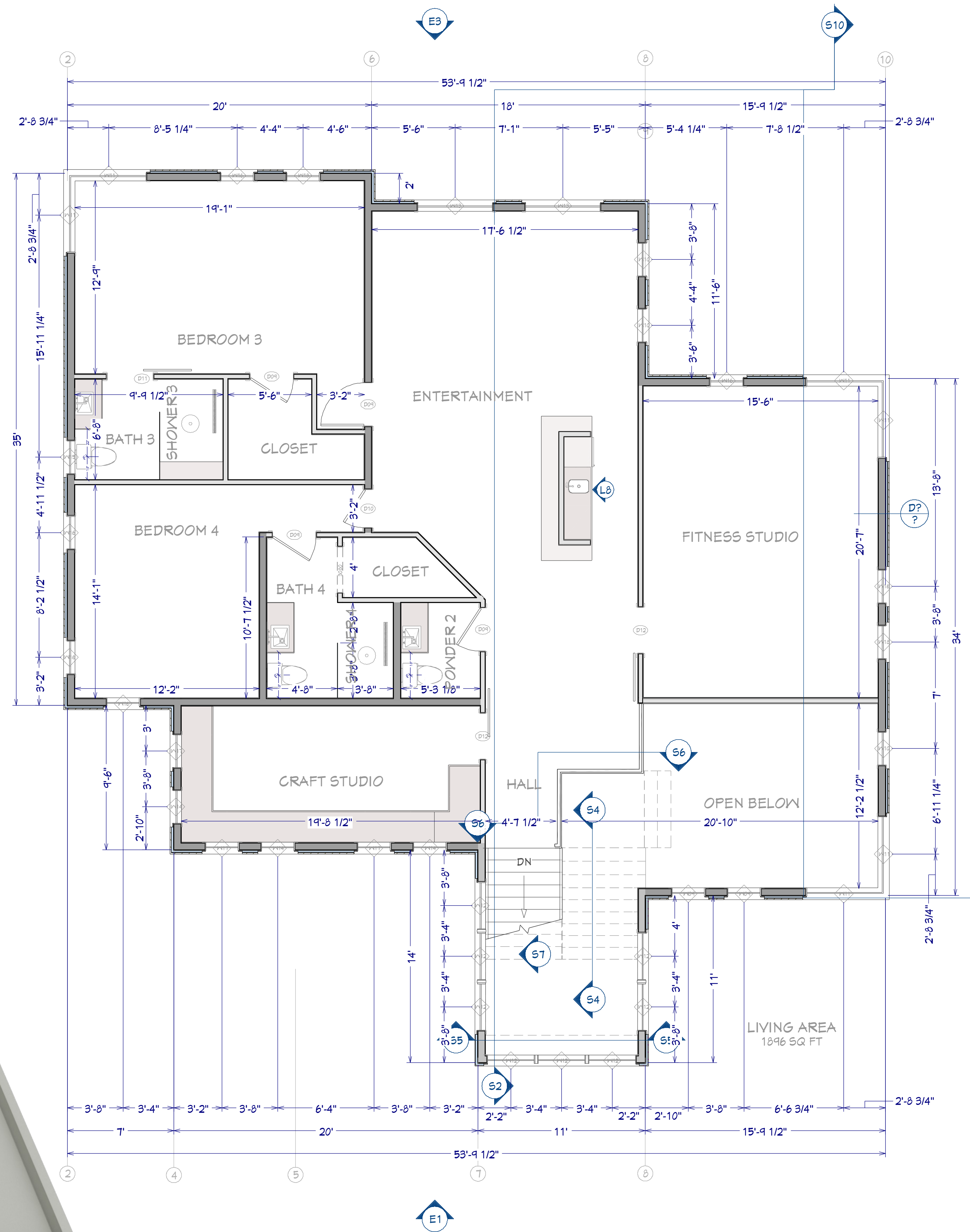
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### WALL LEGEND

-  ROOM DIVIDER
-  GLASS WALL
-  INTERIOR RAILING
-  INTERIOR-4
-  INTERIOR-6
-  STUCCO-6-INSULATED
-  STUCCO-6-DOUBLESIDED-THICK
-  SIDING-6, METAL, INSULATED
-  STUCCO-6-DOUBLESIDED
-  STUCCO-EXTERIOR
-  8" CONCRETE STEM WALL
-  10" CONCRETE STEM WALL
-  DECK/FENCE



**OVERVIEW RENDERING**  
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SHEET NUMBER  
**6**

SCALE @ 24" X 36"  
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## 2nd FLOOR PLAN

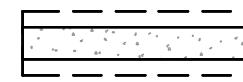
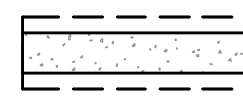
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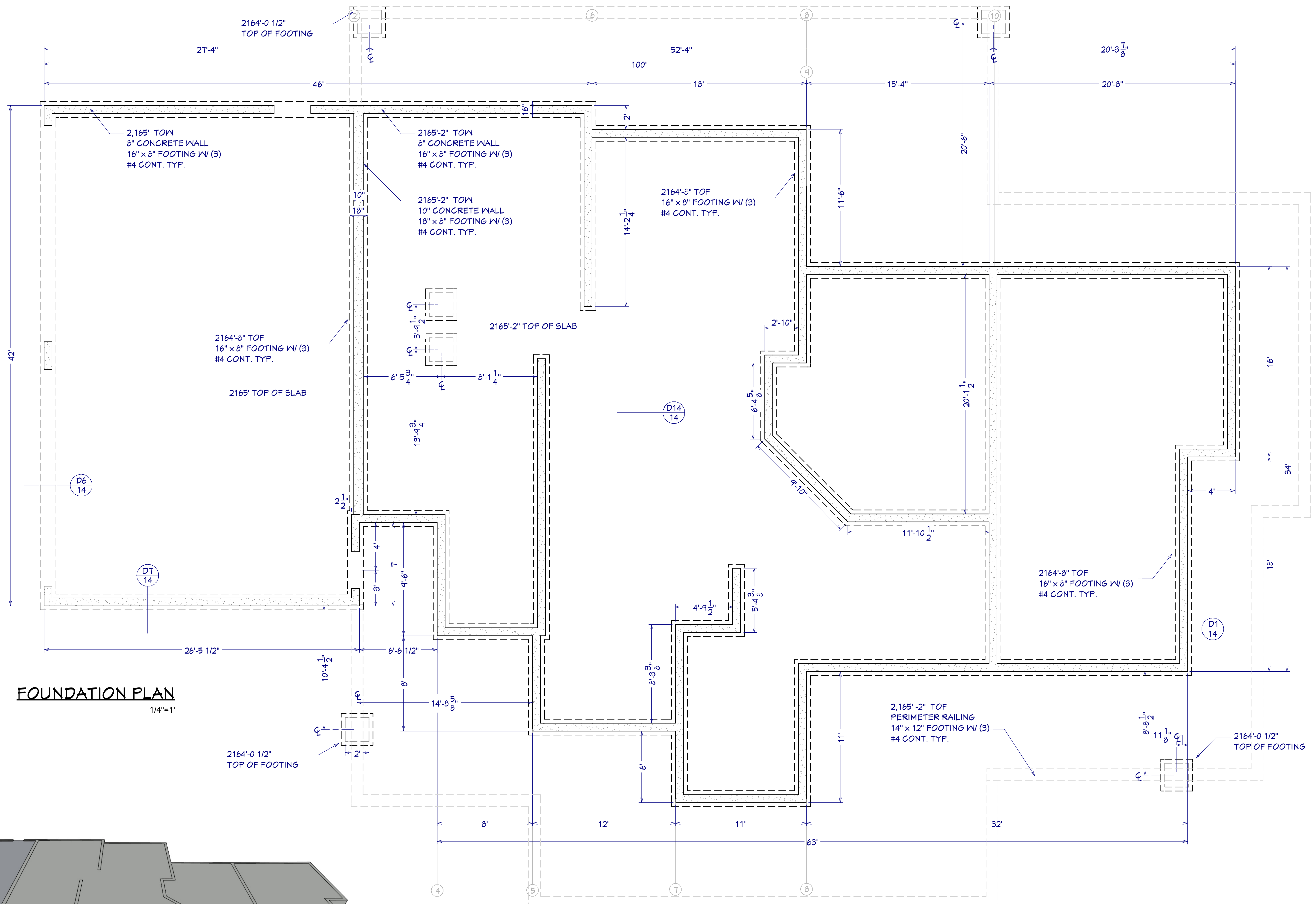
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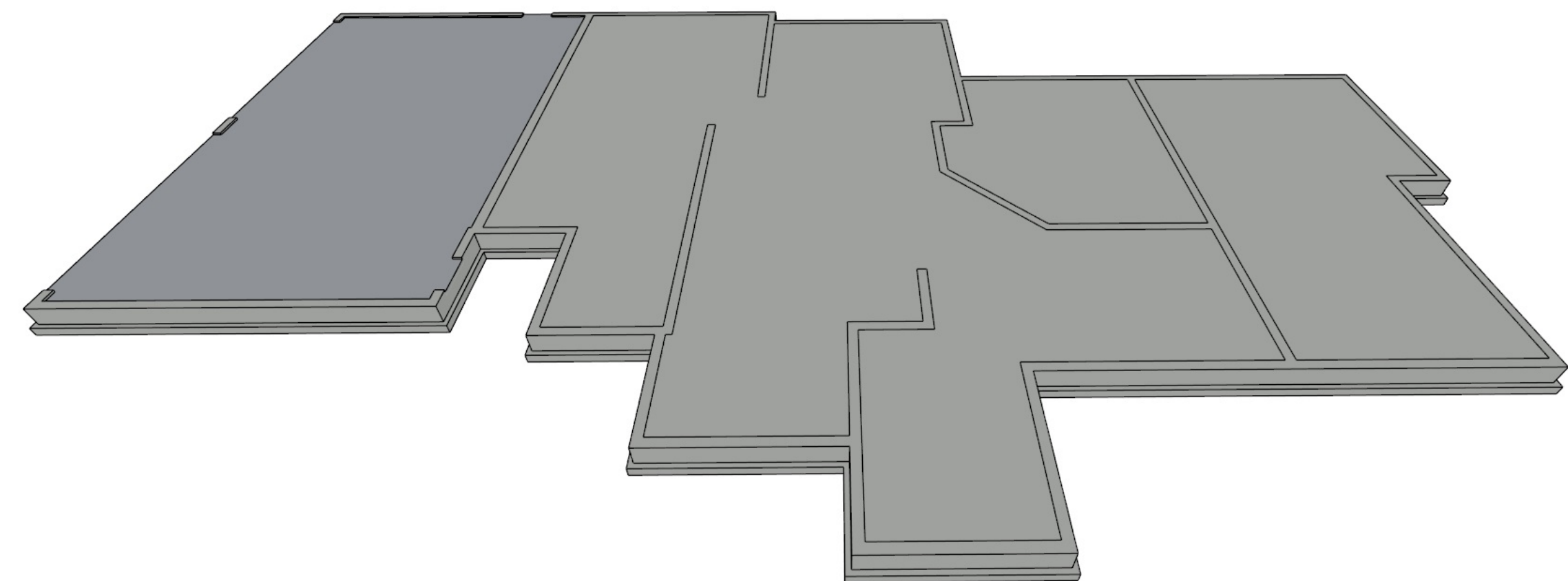


**WALL LEGEND**

-  8" CONCRETE STEM WALL
-  10" CONCRETE STEM WALL



**FOUNDATION PLAN**  
1/4"=1'



**OVERVIEW RENDERING**  
FOR ILLUSTRATION ONLY NO SCALE

**FOUNDATION NOTES**

- 1 ALL ANCHOR BOLTS TO BE 5/8" DIA X 10 @ 32" O/C UNO. SEE SHEAR PLANS FOR HOLD DOWN DETAILS
- 2 ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60
- 3 ALL REINFORCING STEEL TO OVERLAP A MINIMUM OF 24" FOR SPLICES FOR #4 BARS & 36" FOR #5 BARS
- 4 PROVIDE CORNER BARS TO MATCH CONTINUOUS STEEL
- 5 MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,000 PSI (DESIGNED AS 2,500 PSI) AT 28 DAYS. MAXIMUM AGGREGATE SIZE IS 1". MAXIMUM AIR ENTRAINMENT IS 3%. CEMENT SHOULD BE TYPE 1 OR 2
- 6 SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF. IF SOIL CONDITIONS VARY FROM THIS, THE PROJECT ENGINEER MUST BE NOTIFIED. ALL FOOTINGS MUST BEAR ON UNDISTURBED SOIL. ALL SLOPES MUST BE STABILIZED
- 7 SOILS REPORT SHALL BE CREATED FOLLOWING INITIAL FOOTING EXCAVATION
- 8 ADJACENT GROUND SURFACES SHALL BE SLOPED AWAY FROM STRUCTURE DRAINAGE OF SURROUNDING AREA SHALL ALSO BE PROVIDED TO PREVENT ACCUMULATION OF SOIL AND EROSION OF SOIL NEAR FOOTINGS
- 9 UNIFORM SOIL CONDITIONS, MUST BE PROVIDED UNDER SLAB AND FOOTINGS. CUT/FILL OR NON-UNIFORM SOIL CONDITIONS SHOULD BE EXCAVATED AND REPLACED W/ UNIFORM ENGINEERED FILL MATERIAL TO MINIMIZE DIFFERENTIAL MOVEMENT
- 10 THE TOPS OF FOUNDATION WALLS SHALL EXTEND 6" ABOVE THE ADJACENT FINISH GRADE

SHEET NUMBER  
**7**

SCALE @ 24" X 36"  
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**FOUNDATION PLAN**

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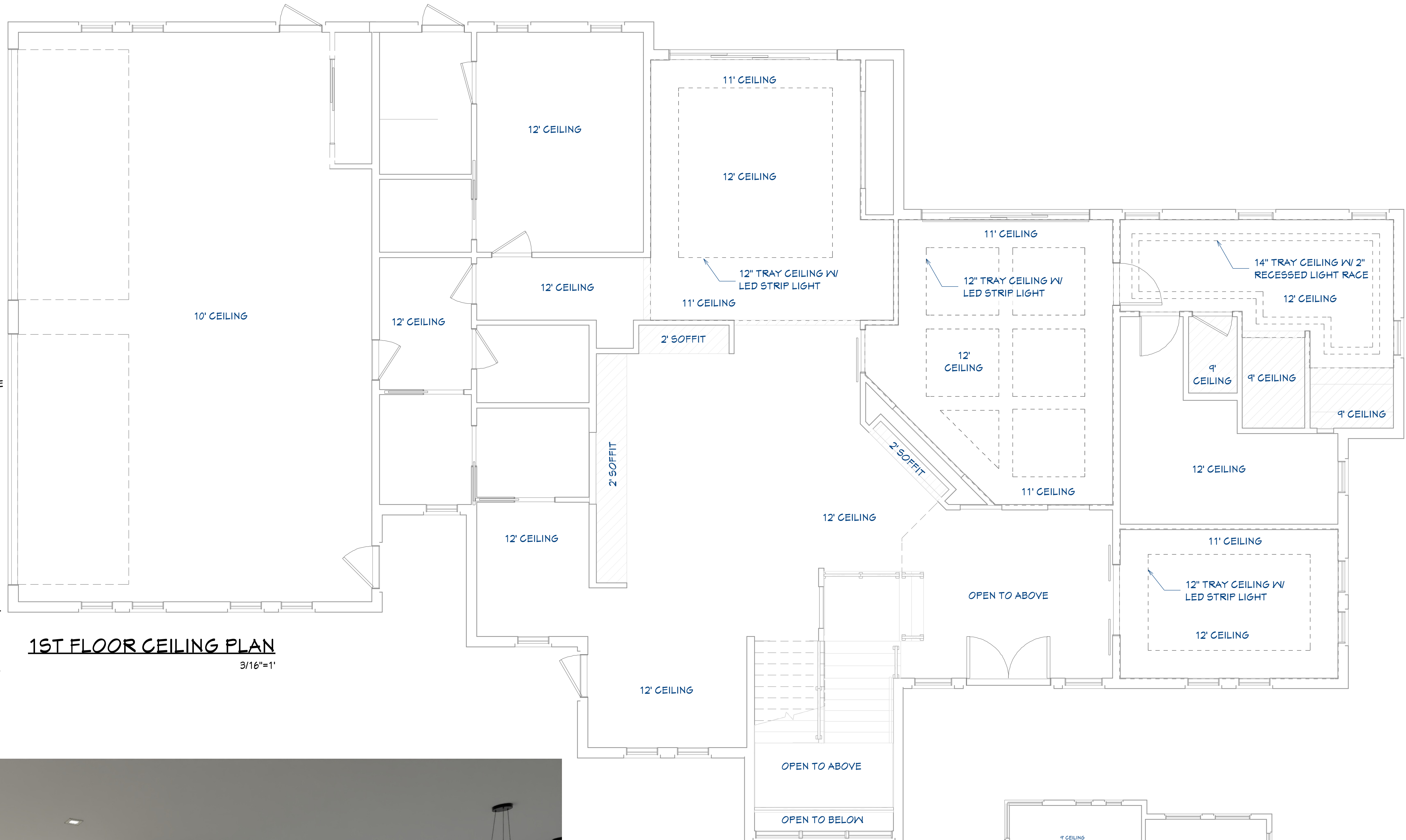
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### CEILING NOTES:

GYPSUM BOARD APPLIED TO CEILINGS SHALL BE 5/8", UNO.

### INSPECTION NOTES:

1. PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES ACCORDING TO THE LOCAL BUILDING CODE. THE BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT TO EXCEED 5.0 AIR CHANGES PER HOUR.
2. SPECIAL INSPECTOR QUALIFICATIONS: DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION IN QUESTION. PRIOR TO THE BEGINNING OF CONSTRUCTION, REVIEW THE SPECIAL INSPECTION REQUIREMENTS WITH THE ARCHITECT, ENGINEER, BUILDING OFFICIAL, GENERAL CONTRACTOR AND SPECIAL INSPECTORS. DUTIES OF THE SPECIAL INSPECTOR INCLUDE, BUT ARE NOT LIMITED TO:
  - A. OBSERVE THE WORK FOR CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS. BRING DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR BUILDING OFFICIAL.
  - B. FURNISH INSPECTION REPORTS FOR EACH INSPECTION TO THE BUILDING OFFICIAL, ARCHITECT, ENGINEER, GENERAL CONTRACTOR AND OWNER IN A TIMELY MANNER.
  - C. SUBMIT A FINAL REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS INSPECTED, AND WHETHER THE WORK IS IN CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS.
3. DUTIES OF THE CONTRACTOR INCLUDE, BUT ARE NOT LIMITED TO:
  - A. NOTIFY SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST 24 HOURS BEFORE THE INSPECTION IS REQUIRED.
  - B. MAINTAIN ACCESS TO WORK REQUIRING SPECIAL INSPECTION UNTIL IT HAS BEEN OBSERVED AND INDICATED TO BE IN CONFORMANCE BY THE SPECIAL INSPECTOR AND APPROVED BY THE BUILDING OFFICIAL.
  - C. PROVIDE THE SPECIAL INSPECTOR WITH ACCESS TO APPROVED PERMIT DRAWINGS AND SPECIFICATIONS AT THE JOB SITE.
  - D. MAINTAIN JOB-SITE COPIES OF ALL REPORTS SUBMITTED BY THE SPECIAL INSPECTOR.



1ST FLOOR CEILING PLAN

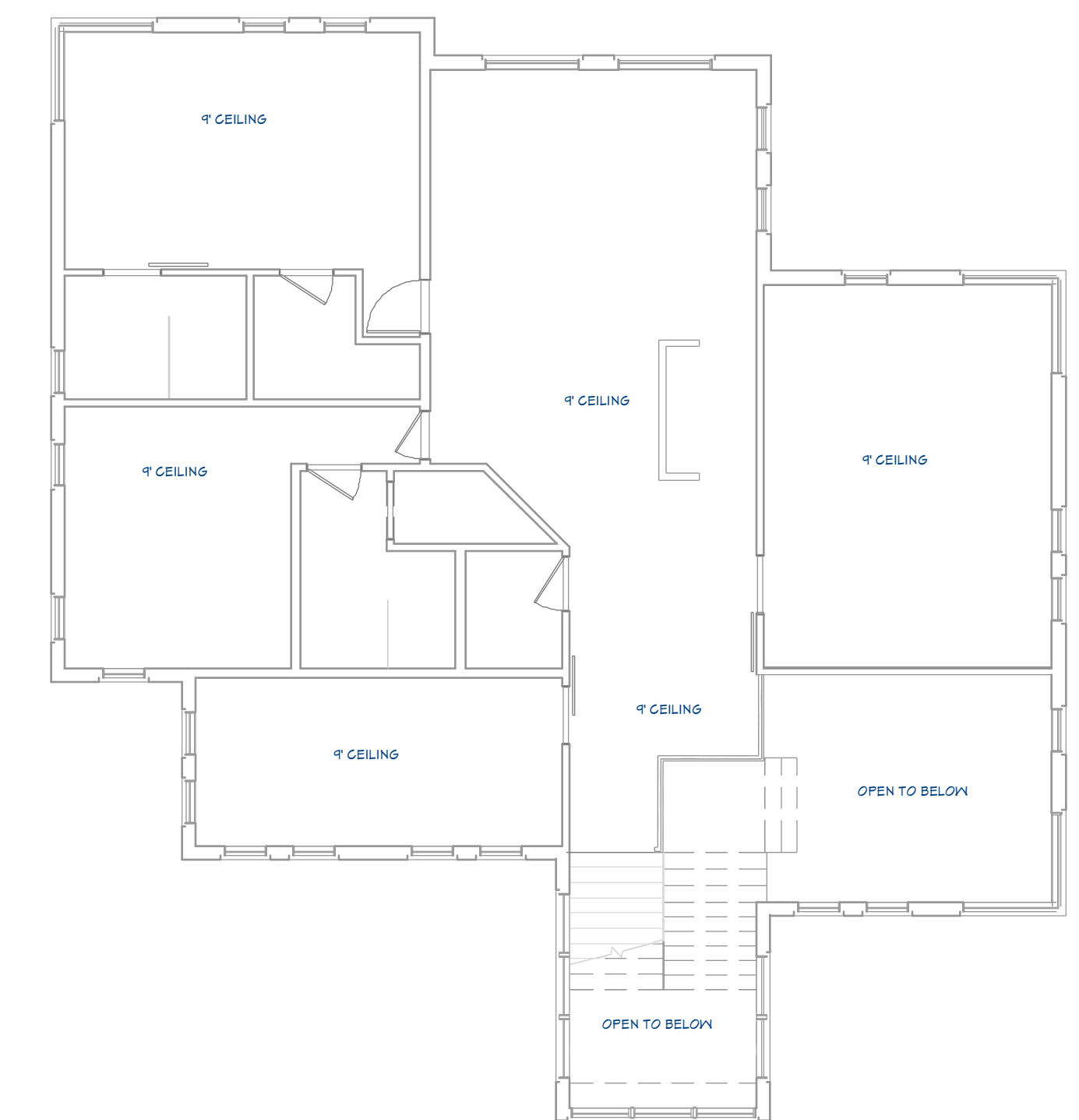
3/16"=1'



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ENTERTAINMENT/FITNESS PERSPECTIVE

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2ND FLOOR CEILING PLAN

1/8"=1'

SHEET NUMBER

8

SCALE @ 24" X 36"

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## CEILING PLAN

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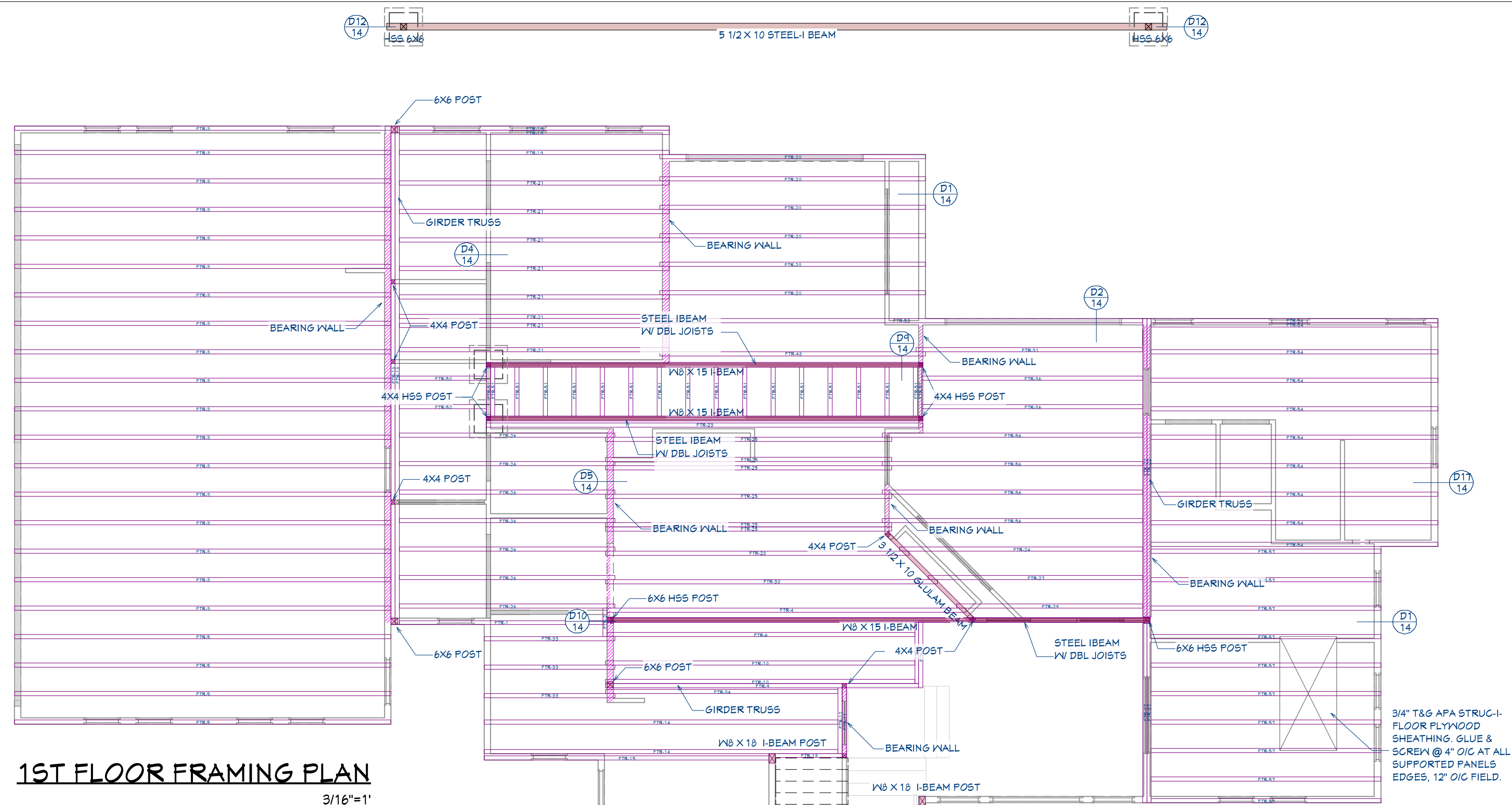
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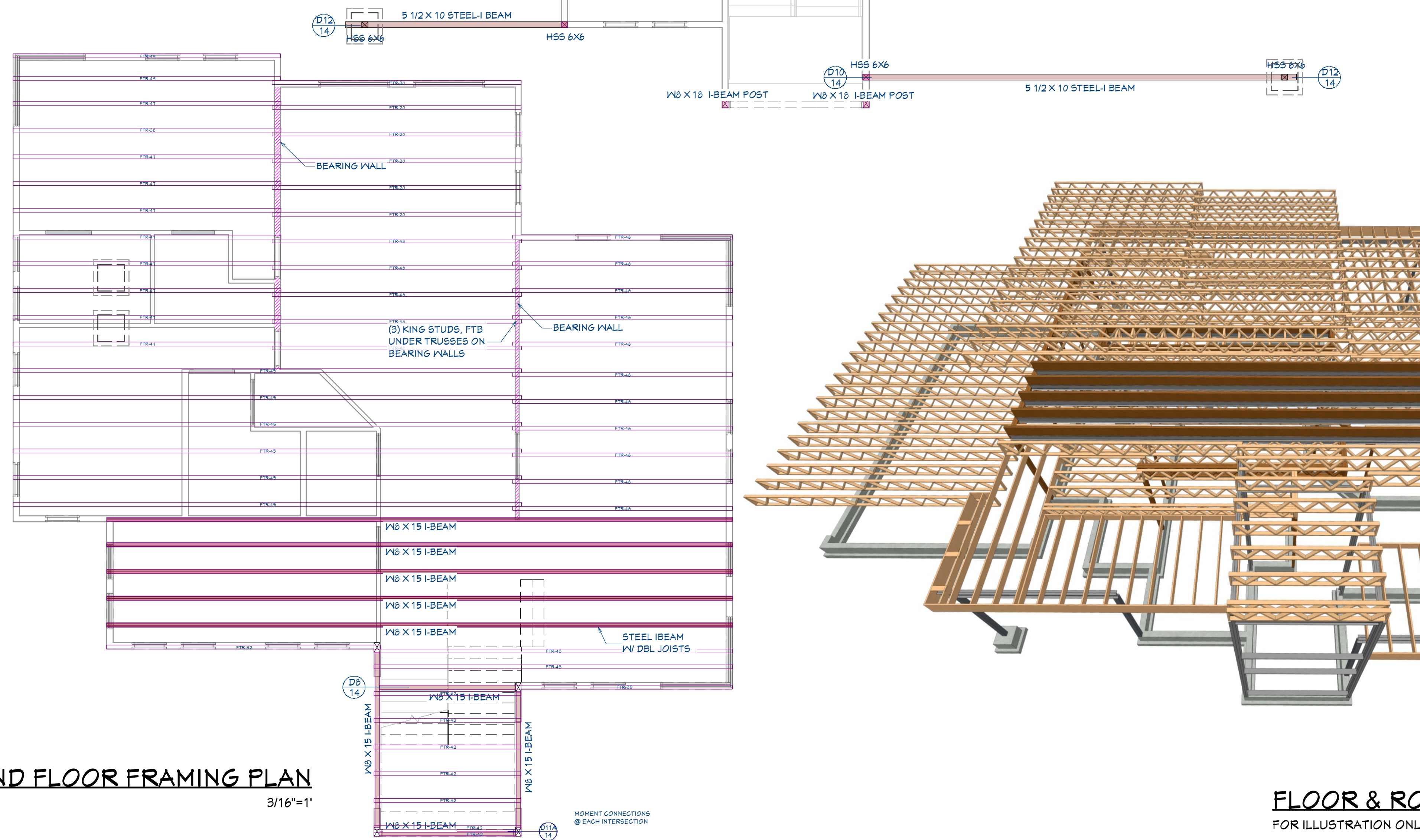
## GENERAL FRAMING NOTES:

- ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH NO. 2 AND LARGER LUMBER SHALL BE DOUGLAS FIR NO.1 OR BETTER, UNO.
- WALL HEADERS: (2) 2 X 10 DF 2 W/IK/IT TYP. UNO
- I-JOISTS AND LVL MEMBERS MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS.
- ALL TRUSSES SHALL BE ENGINEERED AND STAMPED WITH A SEPARATE ENGINEERED DOCUMENT.
- PRE-MANUFACTURED WOOD JOISTS & TRUSSES SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. MANUFACTURED BY THE TRUSS OR JOIST COMPANY. NO MEMBERS SHALL BE MODIFIED AND MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MEMBERS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF THE JOISTS & TRUSSES IN WRITING TO THE CONTRACTOR/ENGINEER. PRE-MANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ENGINEER OR ICBO APPROVED.
- ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS. CONNECT BLOCKING TO TOP OF WALL W/ SIMPSON FRAMING ANCHORS. ROOF JOIST TO HAVE HURRICANE CLIPS @ 48" O.C. OR SIMPSON H-1 HURRICANE CLIPS @ 24" O.C. INSTALL PRIOR TO ROOF SHEETING.
- ALL WOOD & IRON CONNECTIONS MUST CARRY THE CAPACITY OF THE MEMBER. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS. IF OTHER THAN STANDARD CONNECTIONS ARE REQUIRED, CONTACT PROJECT ENGINEER FOR ASSISTANCE. USE SIMPSON OR OTHER ICC LISTED CONNECTIONS.
- ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL.
- NAILS: ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).
- THRUST SHALL BE ELIMINATED BY THE USE OF COLLAR TIES OR CEILING JOISTS, WHERE REQUIRED.
- BEVELED BEARING PLATES ARE REQUIRED AT ALL BEARING POINTS FOR BCI & TJI RAFTERS.
- ALL COLUMNS SHALL EXTEND DOWN THRU THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THAT THEY ARE SUPPORTING.
- ALL EXTERIOR WALLS SHALL BE SHEATHED WITH 1/2" THICK 2-M-W SHEATHING OR EQUAL W/ 8D COMMON NAILS @ 6" O.C. @ EDGES @ 12" O.C. IN FIELD. UNO. SHEATHING SHALL BE CONTINUOUS ACROSS ALL HORIZONTAL FRAMING JOINTS.
- ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. SHEATH ROOF PRIOR TO ANY OVER FRAMING.
- PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNO, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.
- GLULAM BEAMS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, ATTIC 111. EACH MEMBER SHALL BEAR AN ATTIC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD.
- GLULAM BEAMS SHALL BE 24F-V4 DF/DF OR EQUAL FOR SIMPLE SPANS, AND 24F-V8 DF/DF FOR CONTINUOUS SPANS.
- "VERSA-LAM" & "MICRO-LAM MEMBERS SHALL BE GRADE 2.0 E.
- ANY WOOD IN CONTACT W/ CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- ALL WOOD & IRON CONNECTORS SHALL BE INSTALLED W/ ALL REQUIRED FASTENERS IN COMPLIANCE W/ THEIR WRITTEN APPROVAL.
- ALL HANGERS TO BE "SIMPSON" OR EQUAL.
- NOTIFY EOR PRIOR TO DRILLING HOLES IN STEEL BEAMS.



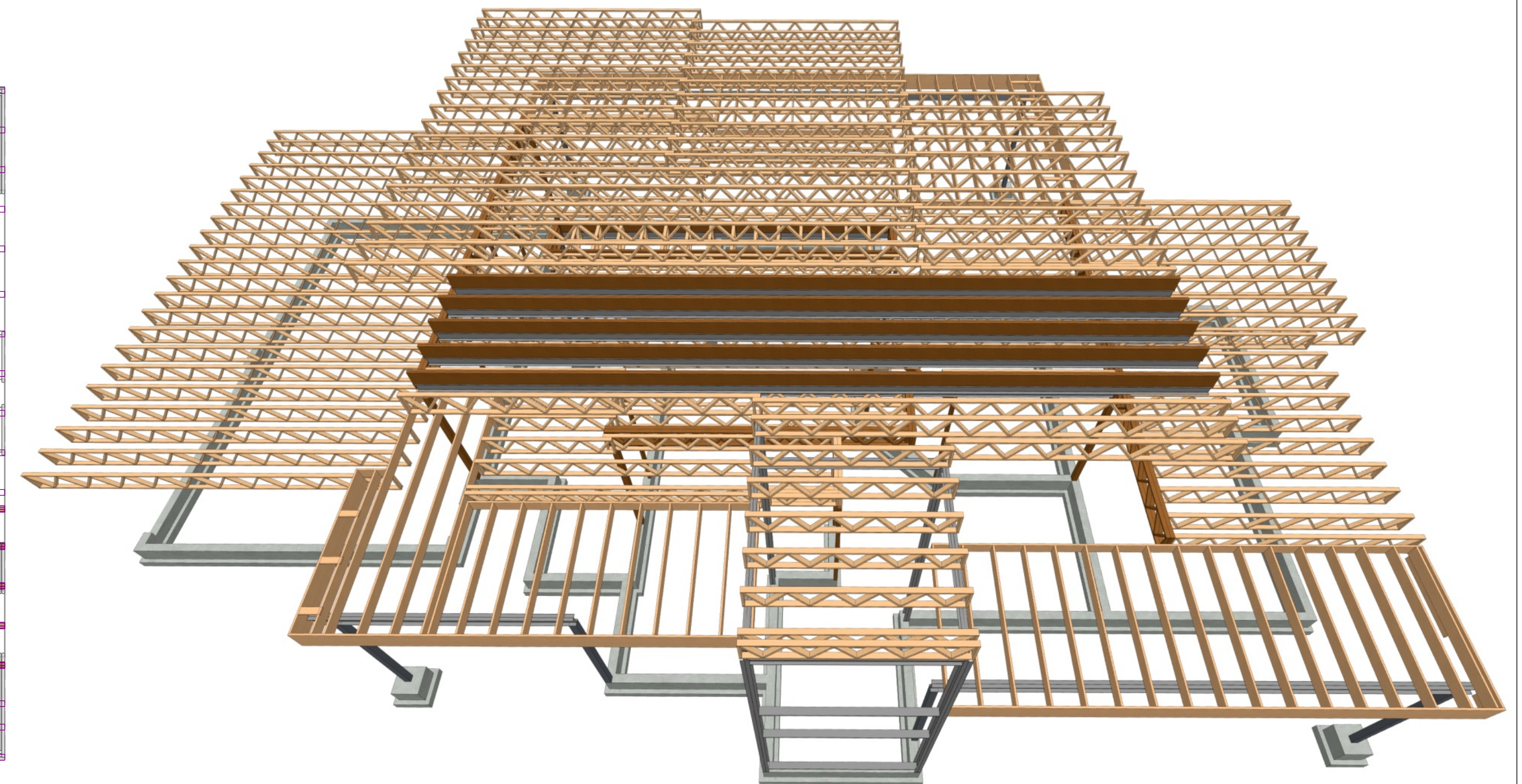
**1ST FLOOR FRAMING PLAN**

3/16"=1'



**2ND FLOOR FRAMING PLAN**

3/16"=1'



**FLOOR & ROOF FRAMING OVERVIEW**

FOR ILLUSTRATION ONLY

NO SCALE

SHEET NUMBER

**9**

SCALE @ 24" X 36"

DATE:

DRAWN BY:

## FLOOR & ROOF FRAMING

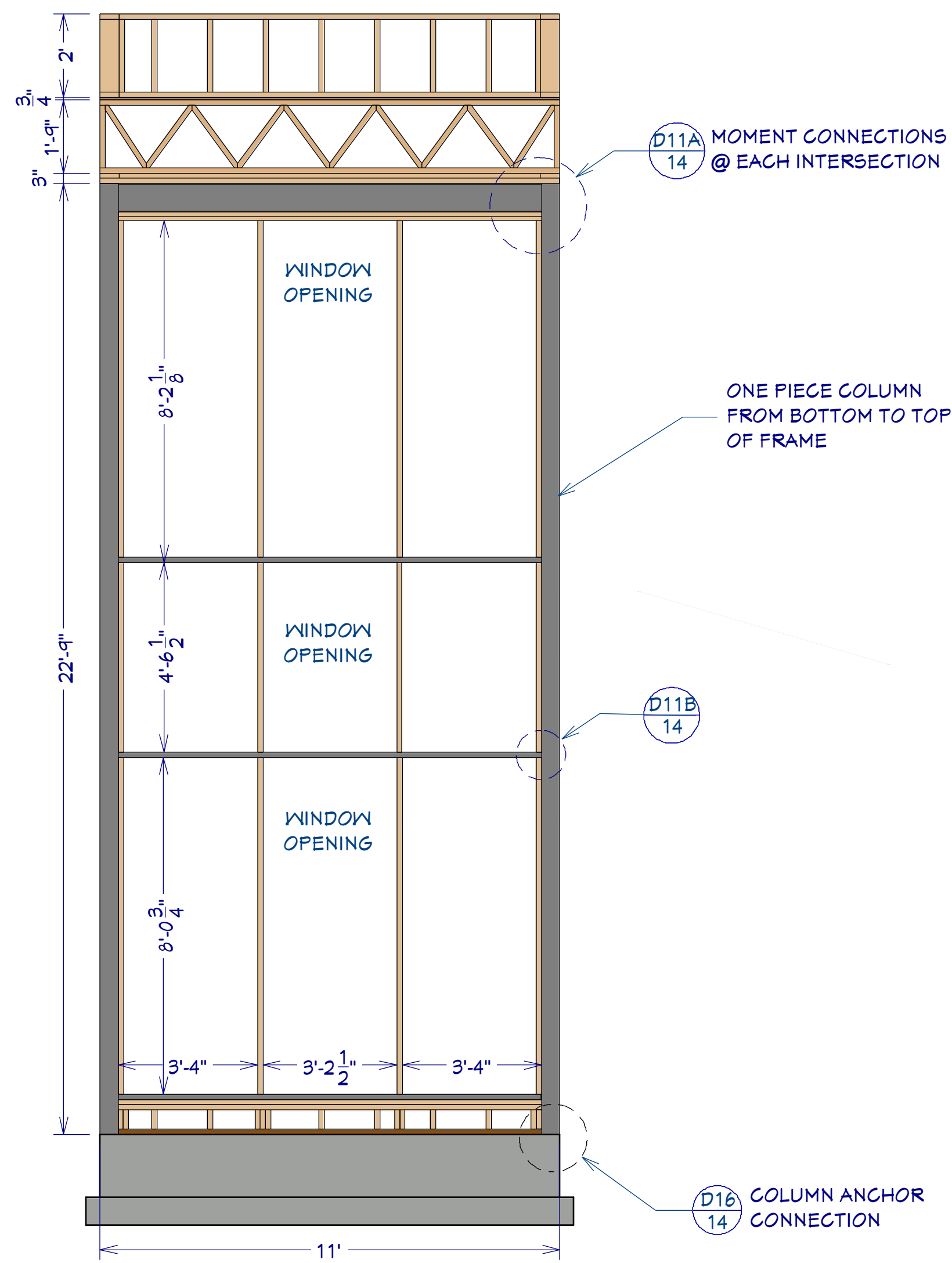
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**THE SAGAuro**

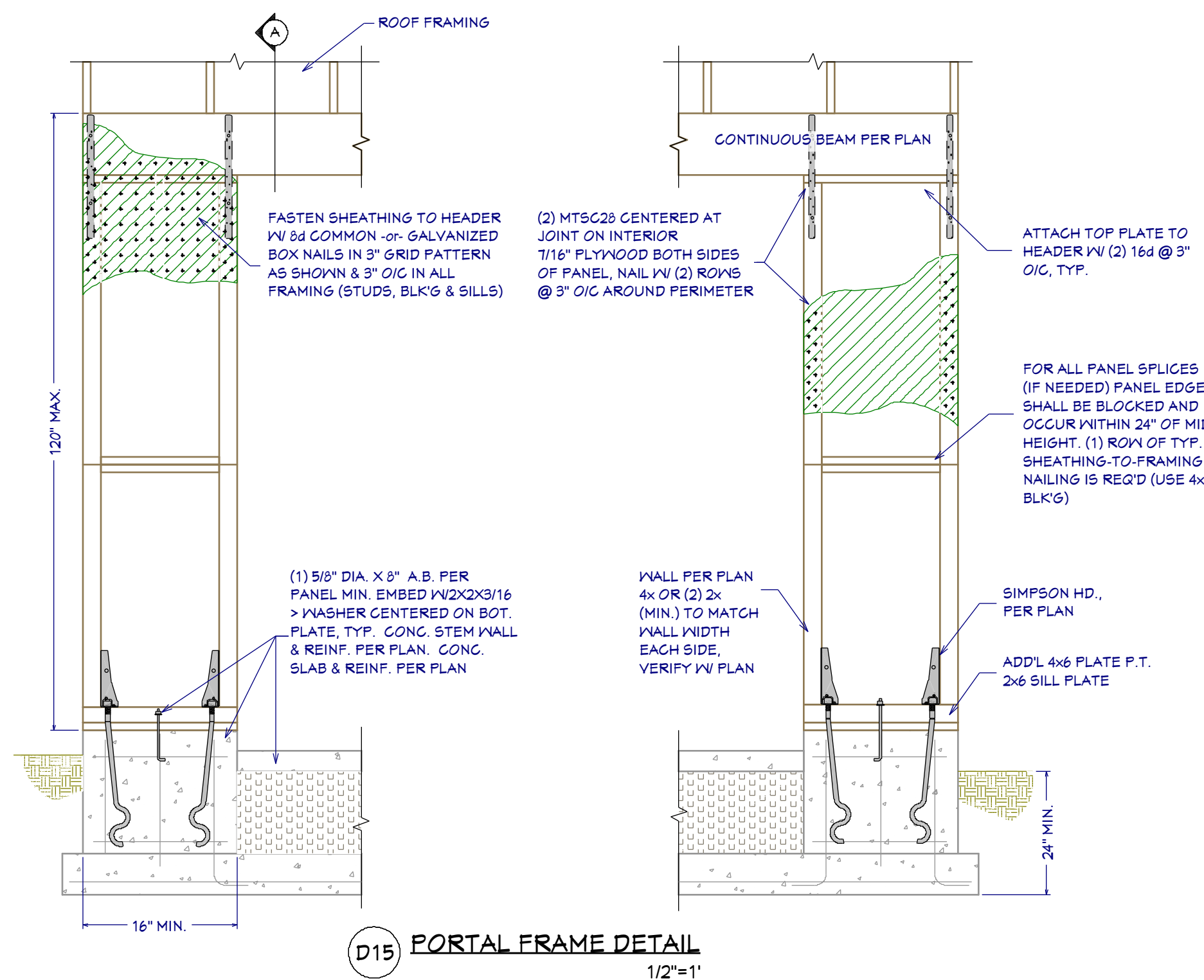
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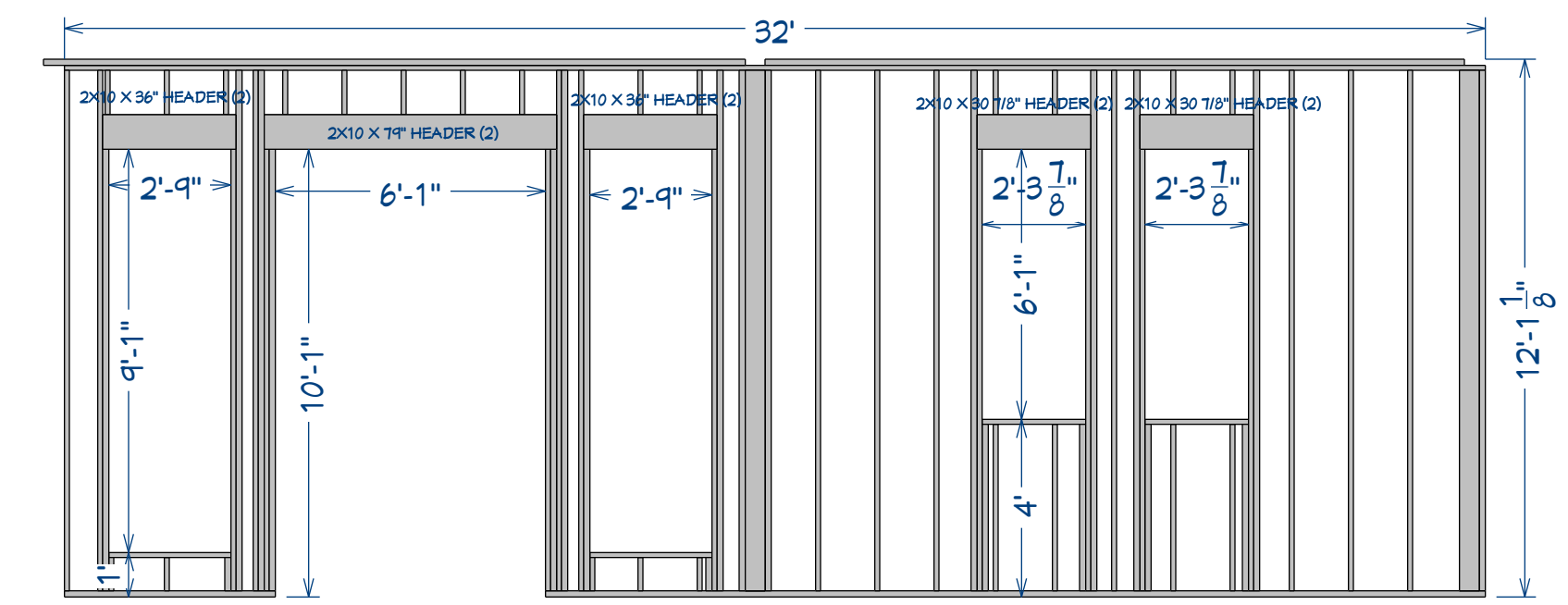
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**S8 FRONT WALL MOMENT FRAME SECTION**  
3/8"=1'



**D15 PORTAL FRAME DETAIL**  
1/2"=1'



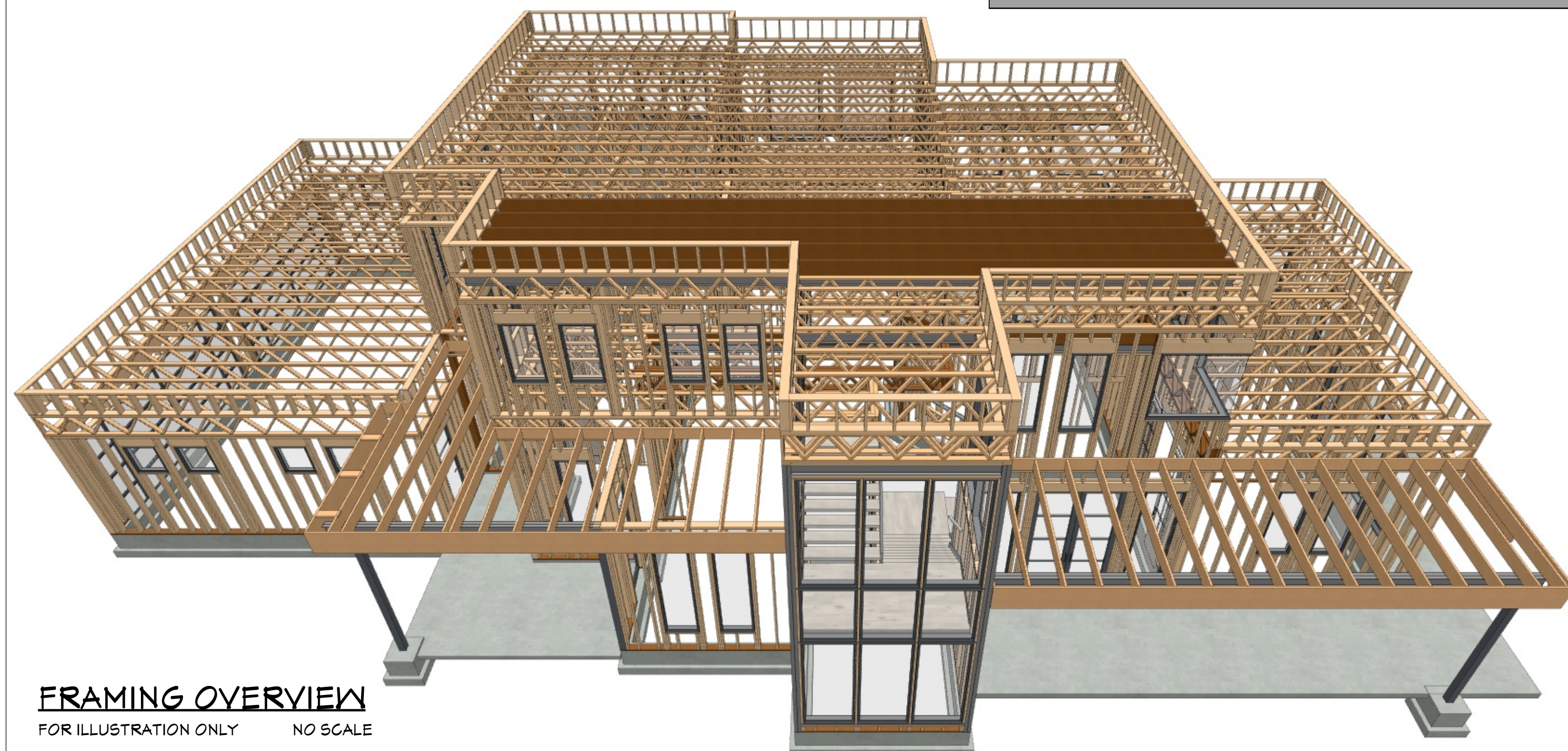
**TYP. WALL FRAMING**  
1/4"=1'

**WALL DETAIL - 55 FLOOR 1 - FRAMING SCHEDULE**

NUMBER	QTY	NAME	LENGTH
T01	8	BOTTOM CRIPPLE	45"
T02	7	BOTTOM CRIPPLE	9"
T03	1	BOTTOM PLATE	254"
T04	1	BOTTOM PLATE	57"
T05	12	KING STUD	140 5/8"
T06	2	SILL	27 7/8"
T07	2	SILL	33"
T08	16	STUD	140 5/8"
T09	14	TOP CRIPPLE	11 7/8"
T10	1	TOP PLATE	384"
T11	1	TOPMOST PLATE	189 1/2"
T12	1	TOPMOST PLATE	189"
T13	12	TRIMMER	119 1/2"
T23	4	HEADER	30 7/8"
T26	4	HEADER	36"
T34	2	HEADER	79"



**F2 REAR SECTION FRAME DETAIL**  
3/16"=1'



**FRAMING OVERVIEW**  
FOR ILLUSTRATION ONLY NO SCALE

**WALL FRAMING NOTES:**

**FRAMING & STRUCTURAL NOTES**  
 WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES.  
 CONFIRM WINDOW MFG. SPECS. BEFORE FRAMING  
 WALL HEADERS ON EXTERIOR WALLS: (2) 2" X 10" DF 2 TYP. INSULATED W/ (1) 2x CRIPPLE & (1) 2x KING, UNO  
 PROVIDE DOUBLE FLOOR JOISTS/TRUSSES. UNDER ALL WALLS RUNNING PARALLEL  
 PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER IRC R602.8  
 PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT  
 ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED  
 SEE WALL & ROOF FRAMING FOR ADDITIONAL FRAMING NOTES

**LUMBER SPECIES:**  
 POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2  
 EXPOSED CEDAR BEAMS TO BE DF-#2 OR BETTER,  
 SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2  
 ALL STUDS TO BE DF-#2 OR BETTER  
 SHEATHING SHALL BE AS FOLLOWS:  
 WALL SHEATHING SHALL BE 1/2" INT-APA RATED OR 7/16" OSB  
 FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED PLYWOOD

**ROOF & FRAMING NOTES:**

1. FOLLOW PARAPET ROOF INSTALLATION PER PLAN
2. INSTALLATION OF SOLAR PANELS PER UTILITY & CONTRACTOR DIRECTION
3. ALL FRAMING SHALL BE INSTALLED & BRACED TO MANUFACTURER'S DRAWINGS & SPECIFICATIONS
4. ALL TRUSSES OR TJI'S SHALL CARRY MANUFACTURER'S STAMP
5. TRUSSES OR TJI'S SHALL NOT BE FIELD ALTERED WITHOUT PRIOR ENGINEERING APPROVAL
6. ALL TRUSSES OR TJI'S SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION
7. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER
8. ROOF JOIST TO BE TJI 560 OR EQUIVALENT
9. ALL ROOF FRAMING 24" O.C. UNO
10. ALL ROOF OVERHANGS 24" UNO
11. INSTALL ICE SHIELD AS REQUIRED
12. INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES
13. ROOF SHEATHING 15/32" OSB OR 1/2" PLYWOOD 32/16 APA RATED  $\text{IV} \delta d @ 6" \text{ O/C}$  ALL SUPPORTED PANEL EDGES, 12" O/C FIELD
14. ROOF SURFACE TO HAVE A MIN. SOLAR REFLECTANCE INDEX OF 6
15. ROOF TRUSS OR TJI'S MANUFACTURER: \_\_\_\_\_

SHEET NUMBER  
**11**

SCALE @ 24" X 36"  
DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_

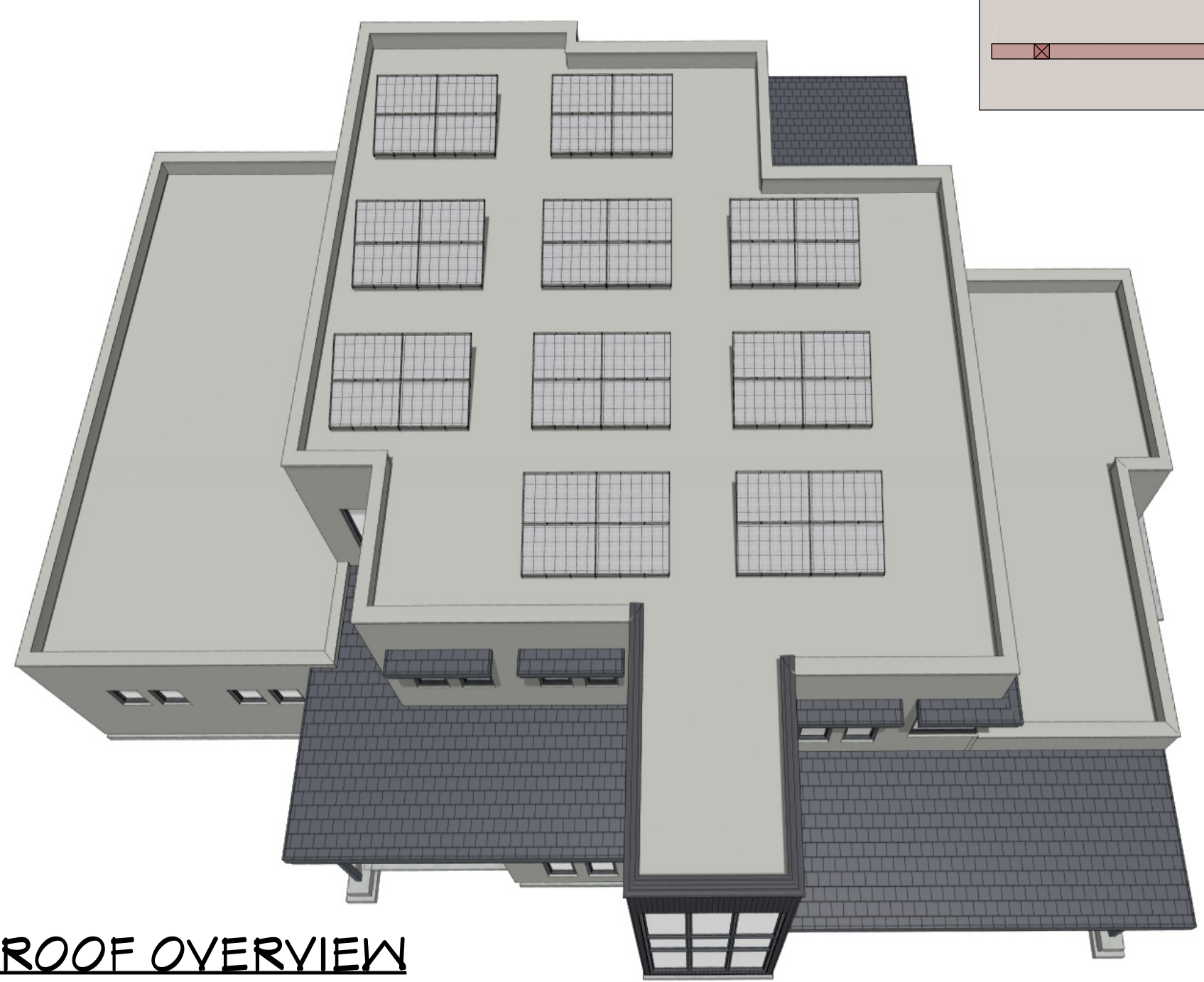
**ROOF PLAN**

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**THE SAGAURO**

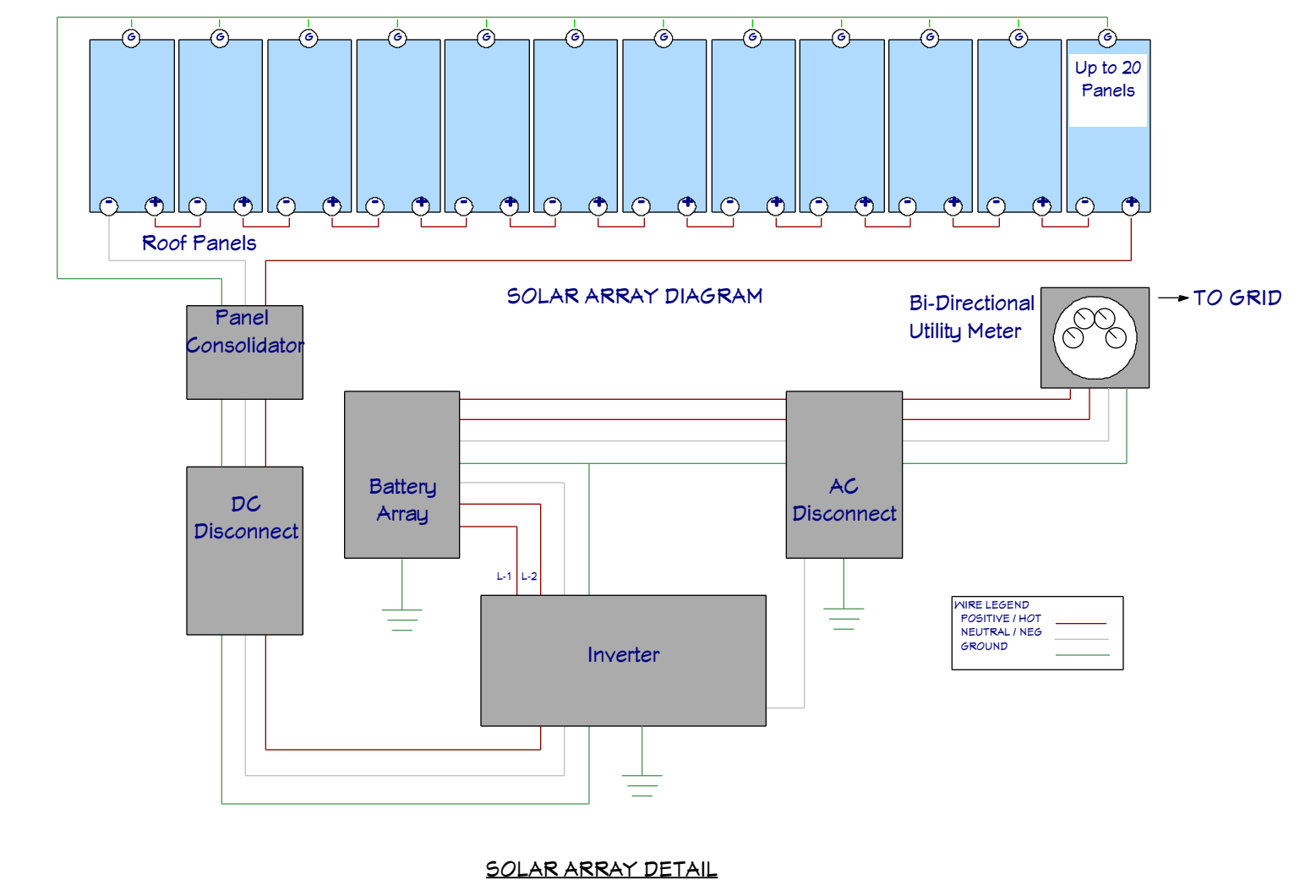
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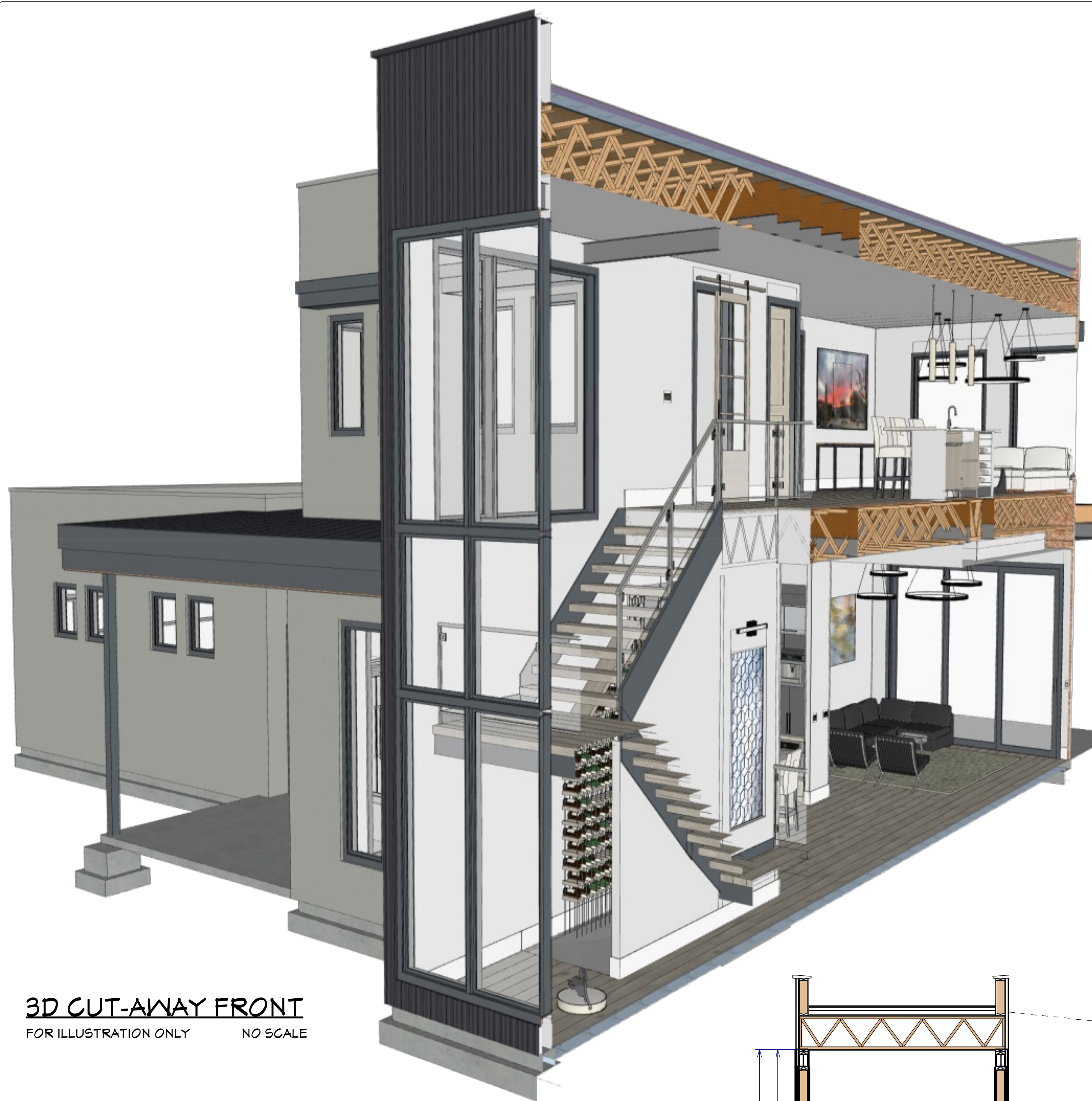
**ROOF PLAN 1ST & 2ND FLOORS**  
1/8"=1'



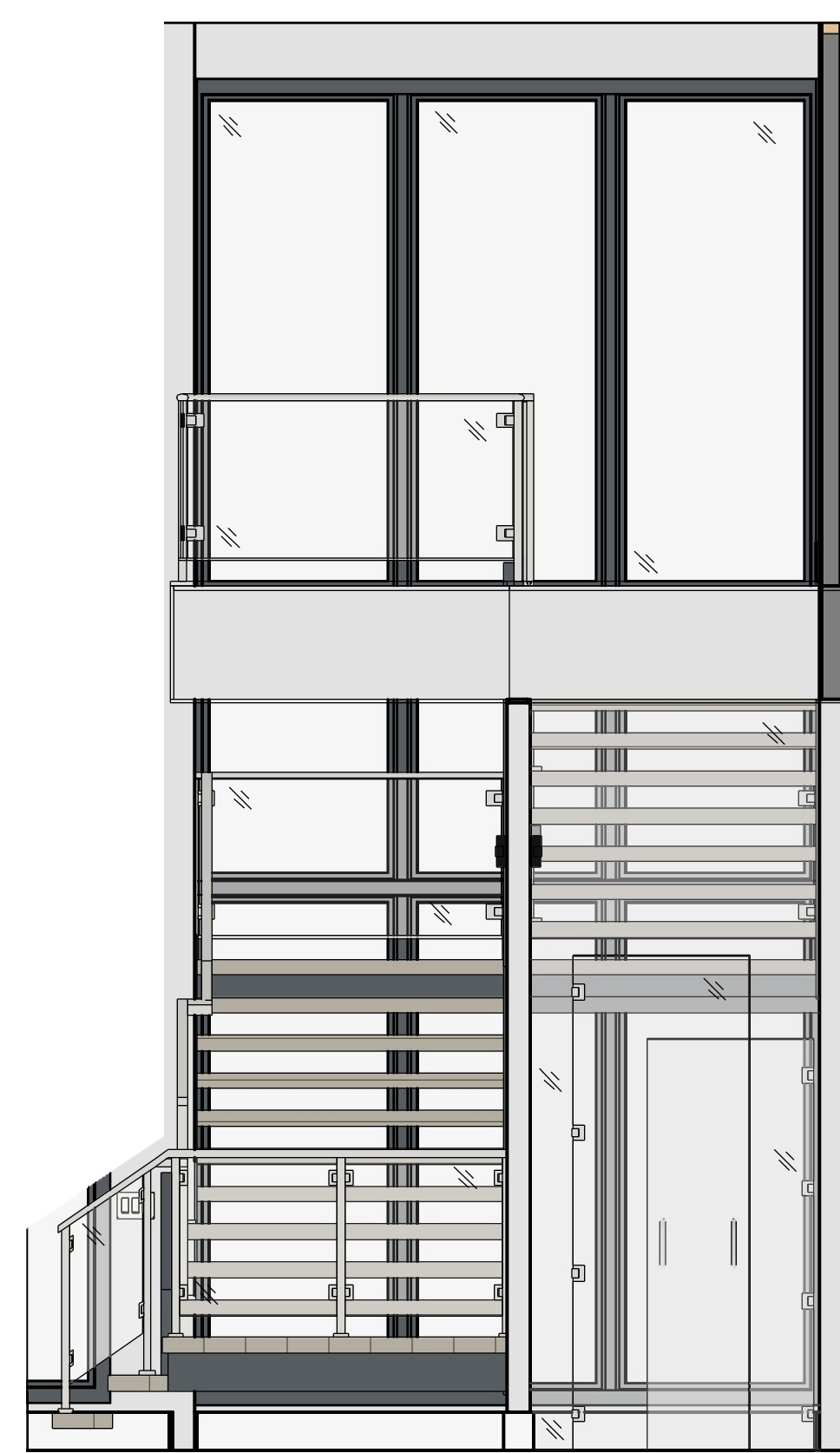
**ROOF OVERVIEW**  
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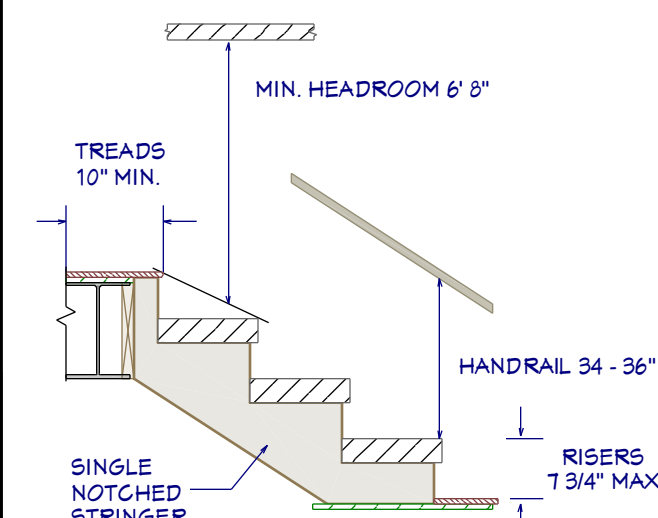
SOLAR ARRAY DETAIL



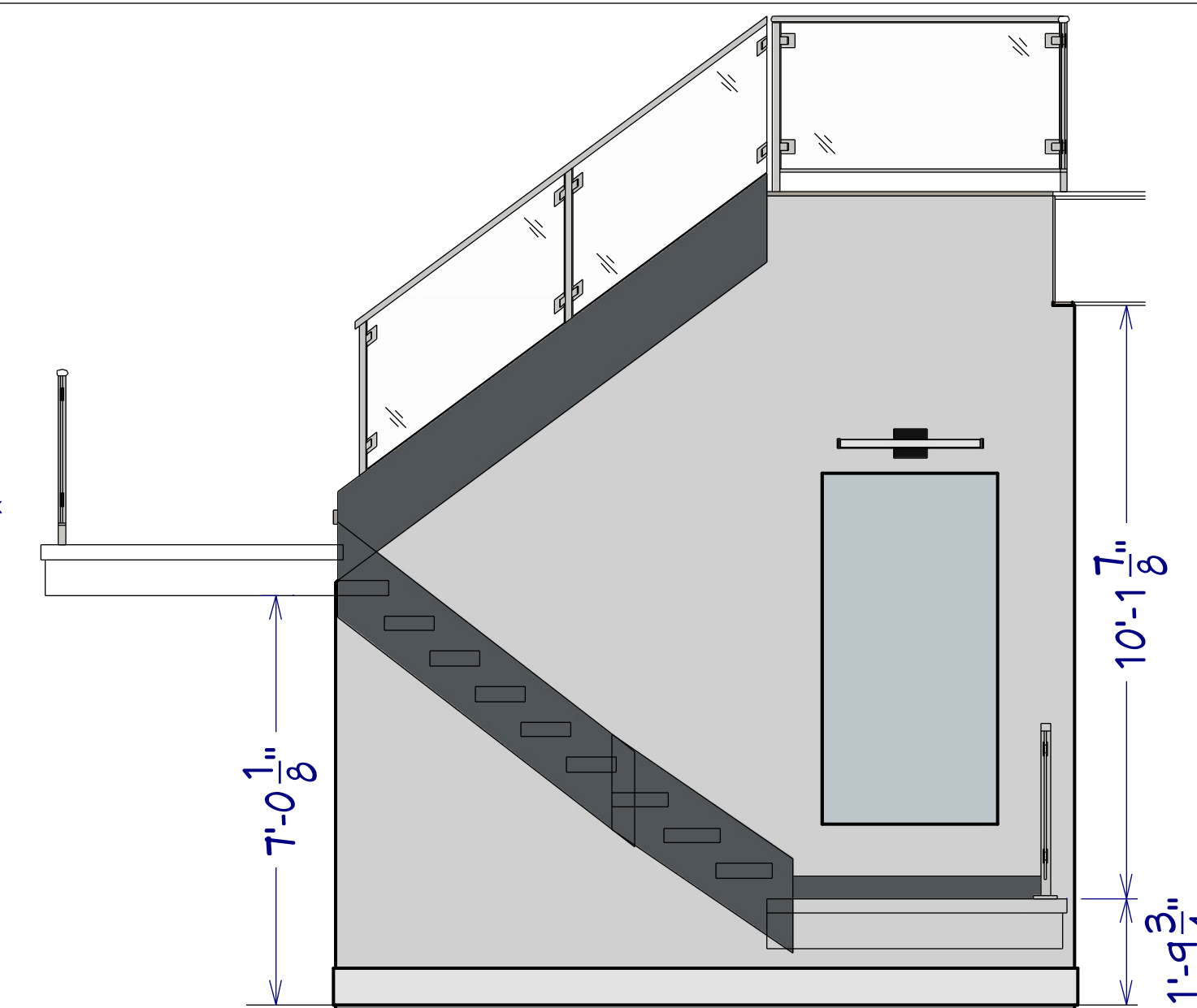
**3D CUT-AWAY FRONT**  
FOR ILLUSTRATION ONLY NO SCALE



**S6 STAIR ELEVATION**  
3/8"=1'



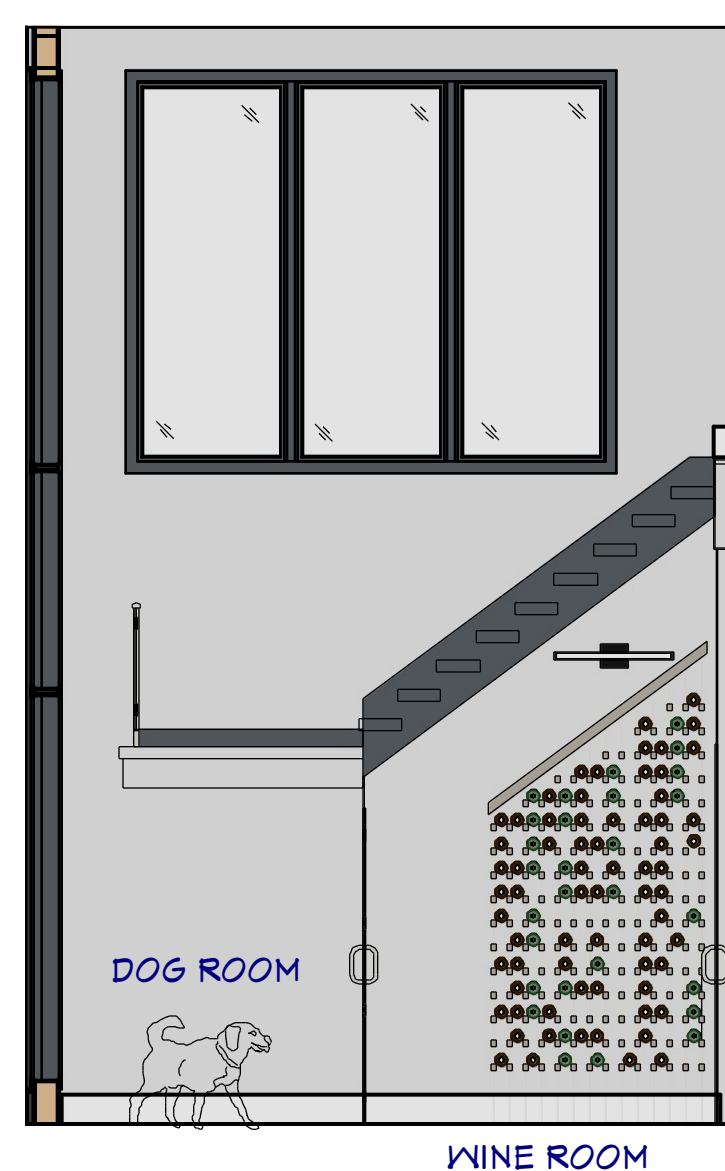
**STAIR DETAIL**  
1/2" = 1'



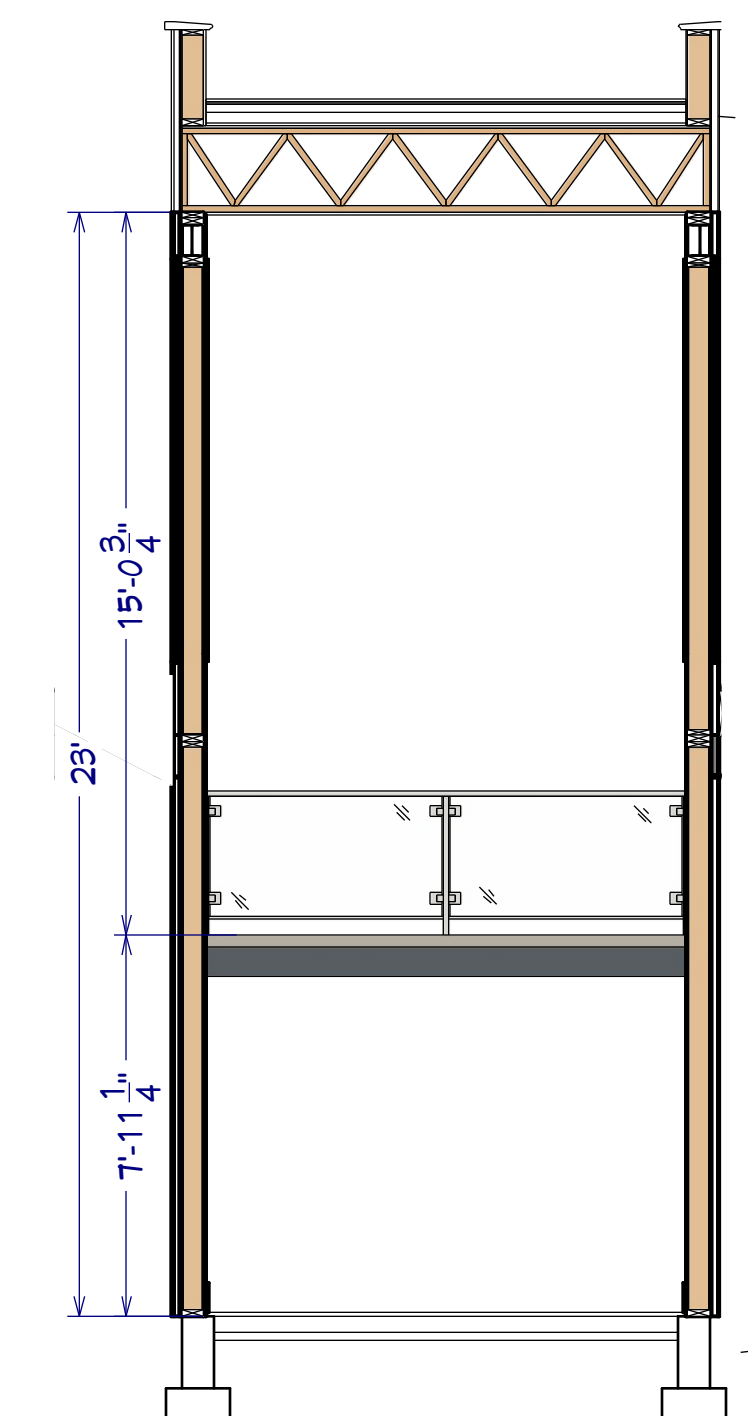
**S4 STAIR SECTION**  
3/8"=1'

**STAIR NOTES:**

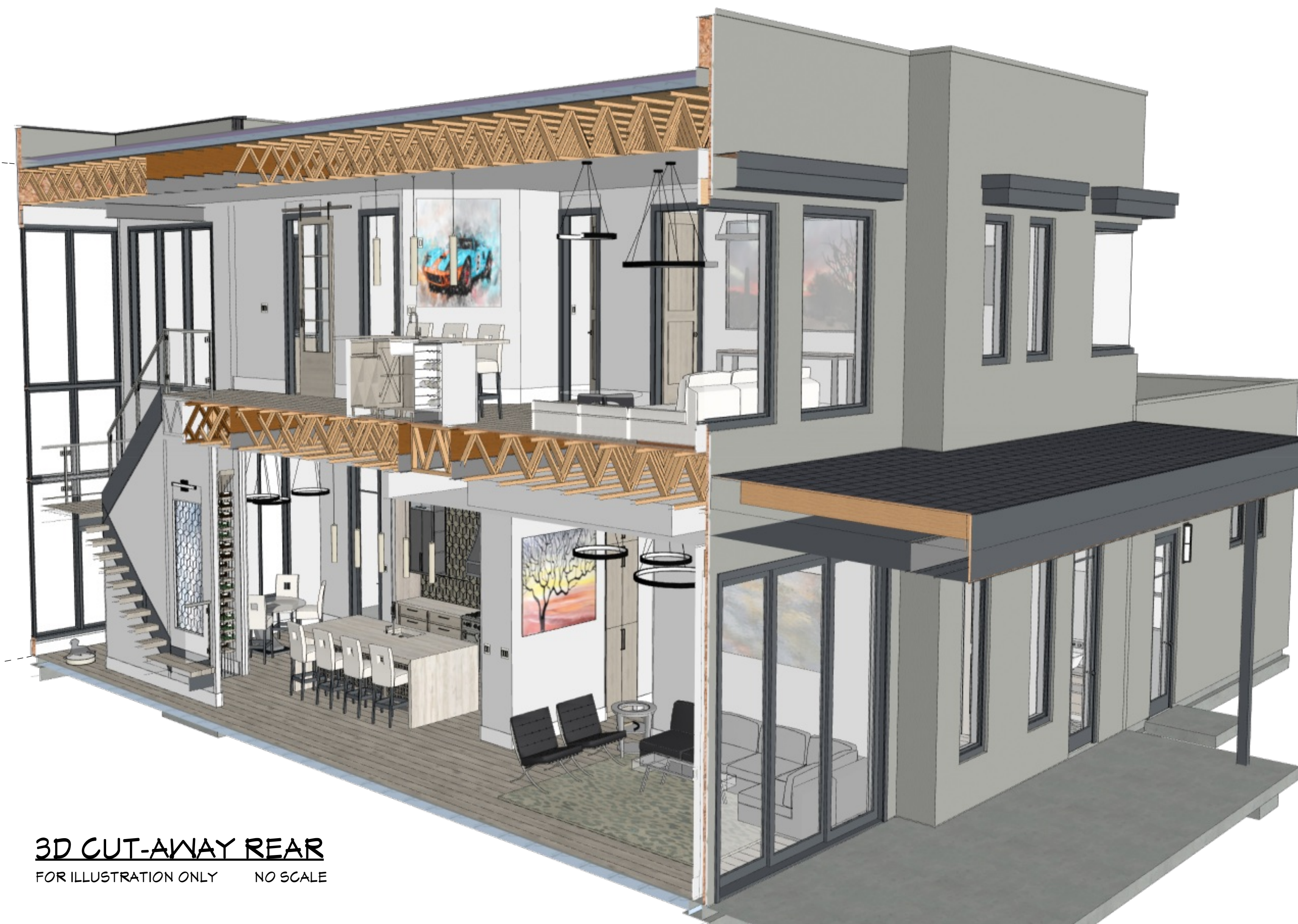
1. STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCR OACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.
2. TREADS SHALL HAVE A MIN. WIDTH OF 10". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".
3. STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
4. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.
5. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
6. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
7. STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.
8. GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW AND SHALL HAVE A 34" MIN. HEIGHT.
9. RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".
10. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.



**S7 STAIR / WINE ELEVATION**  
1/4"=1'



**S5 STAIR SECTION**  
1/4"=1'



**3D CUT-AWAY REAR**  
FOR ILLUSTRATION ONLY NO SCALE

SHEET NUMBER

**12**

SCALE @ 24" X 36"

DATE:

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**3D SECTIONS & STAIR SECTIONS**

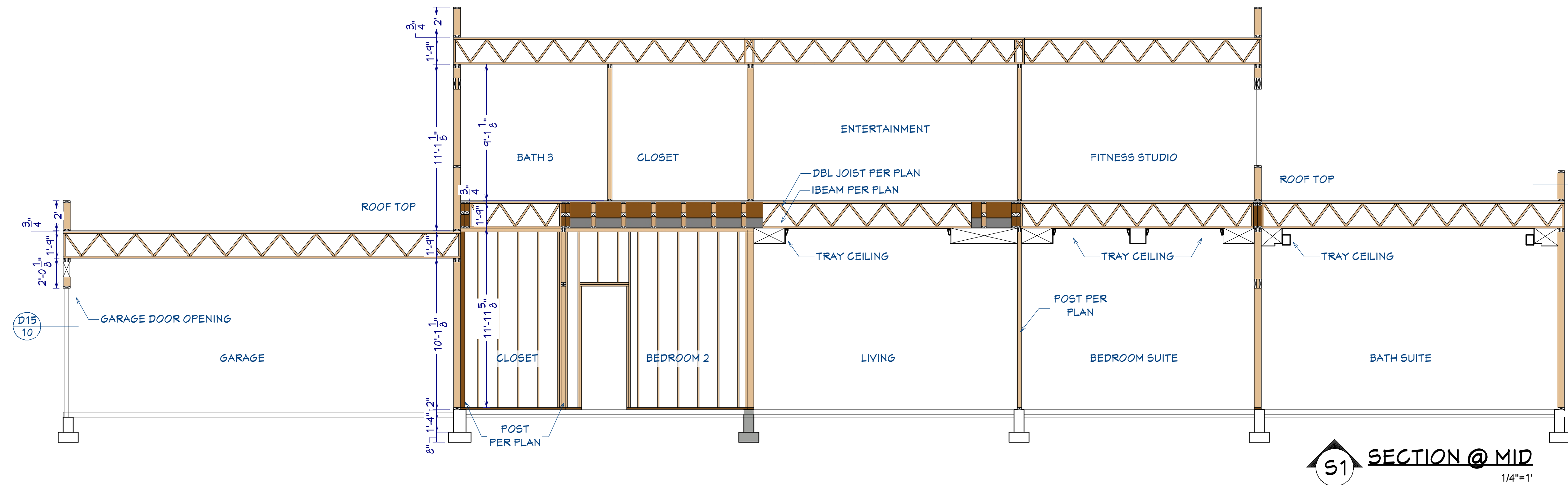
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**THE SAGAORO**

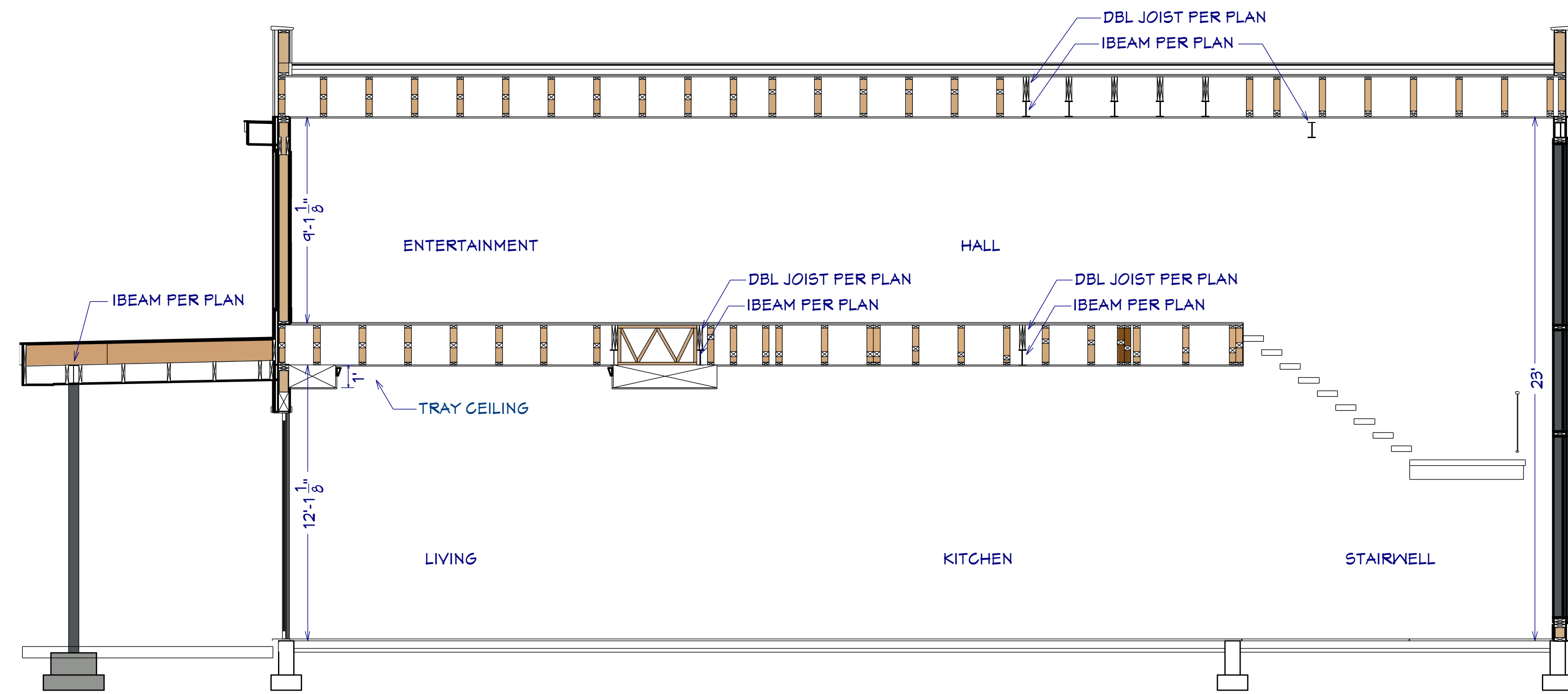
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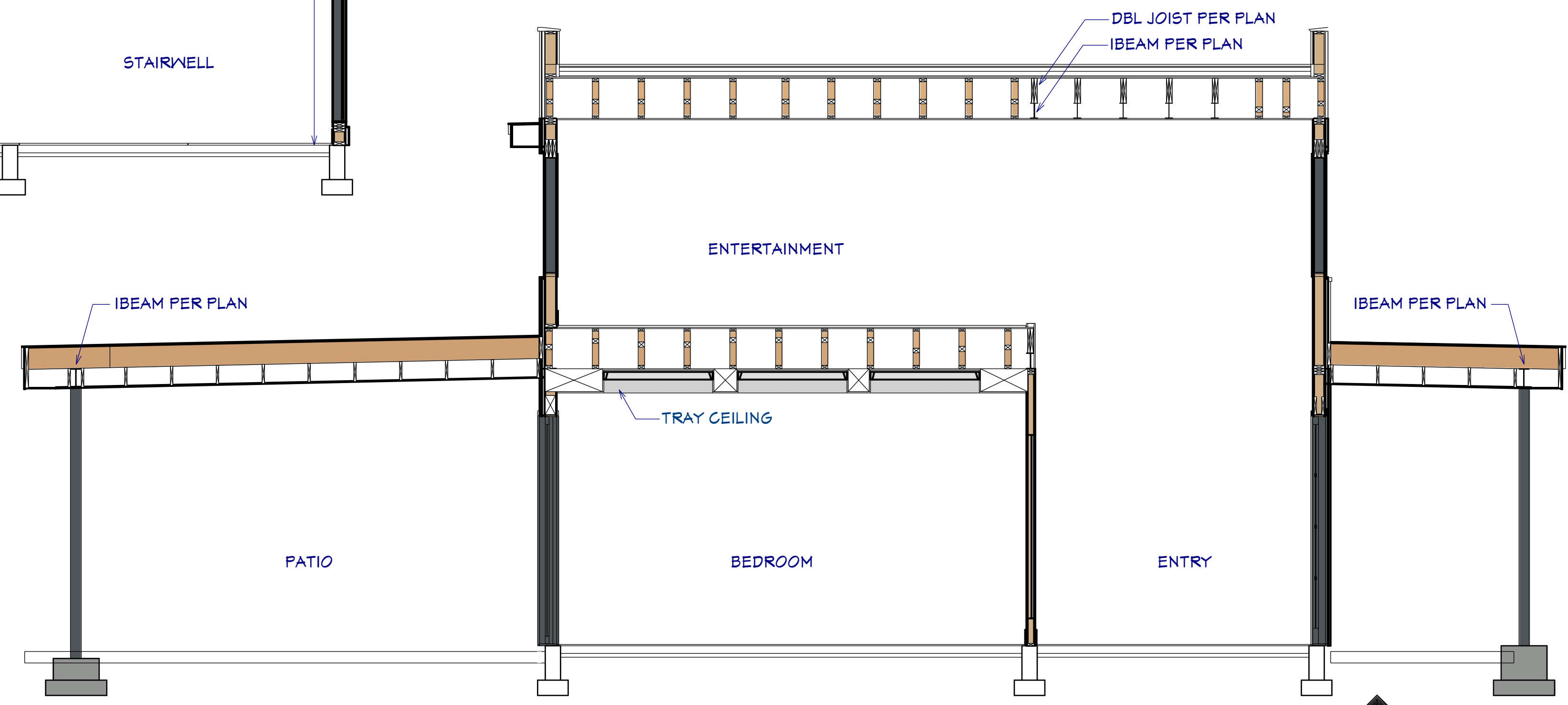




**S1 SECTION @ MID**  
1/4"=1'



**S2 SECTION @ KITCHEN**  
1/4"=1'



**S10 SECTION @ ENTRY**  
1/4"=1'

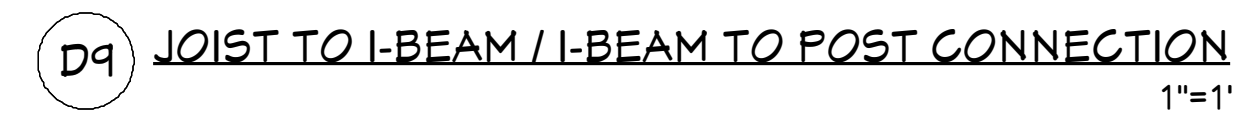
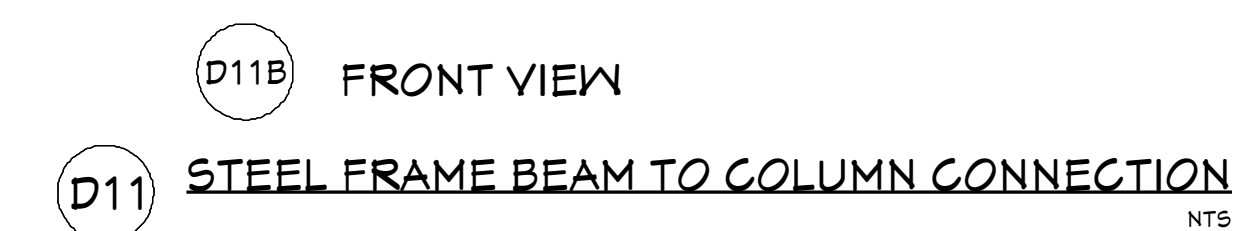
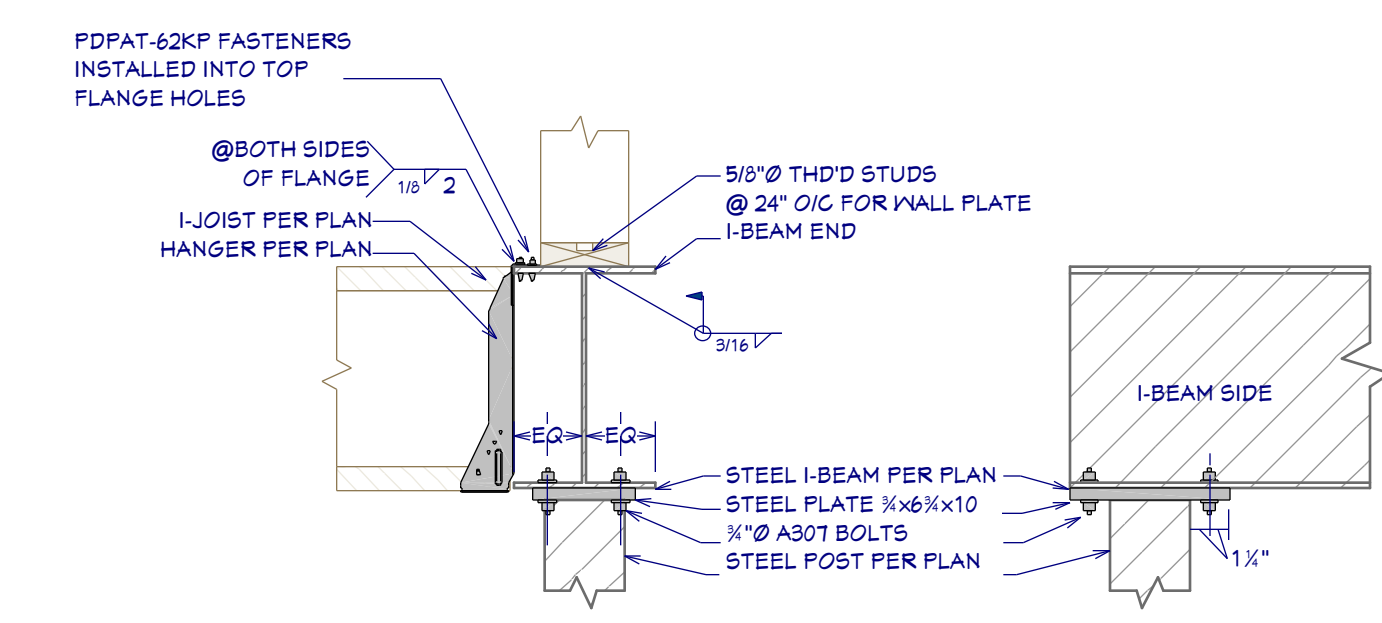
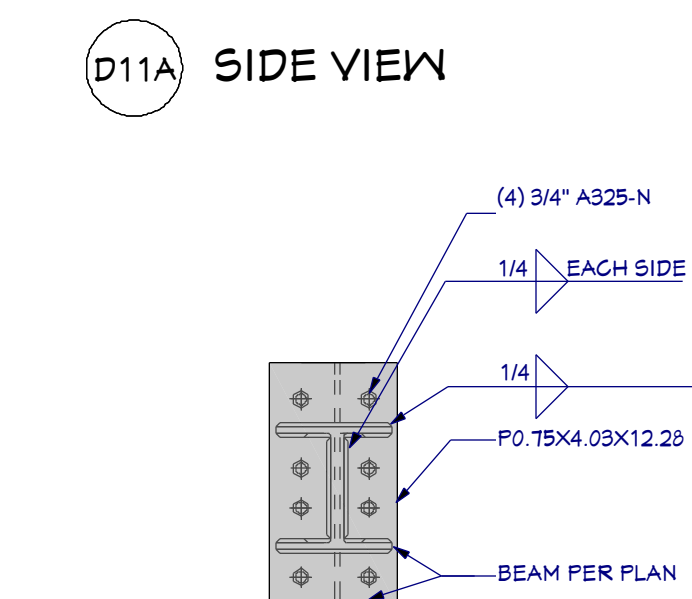
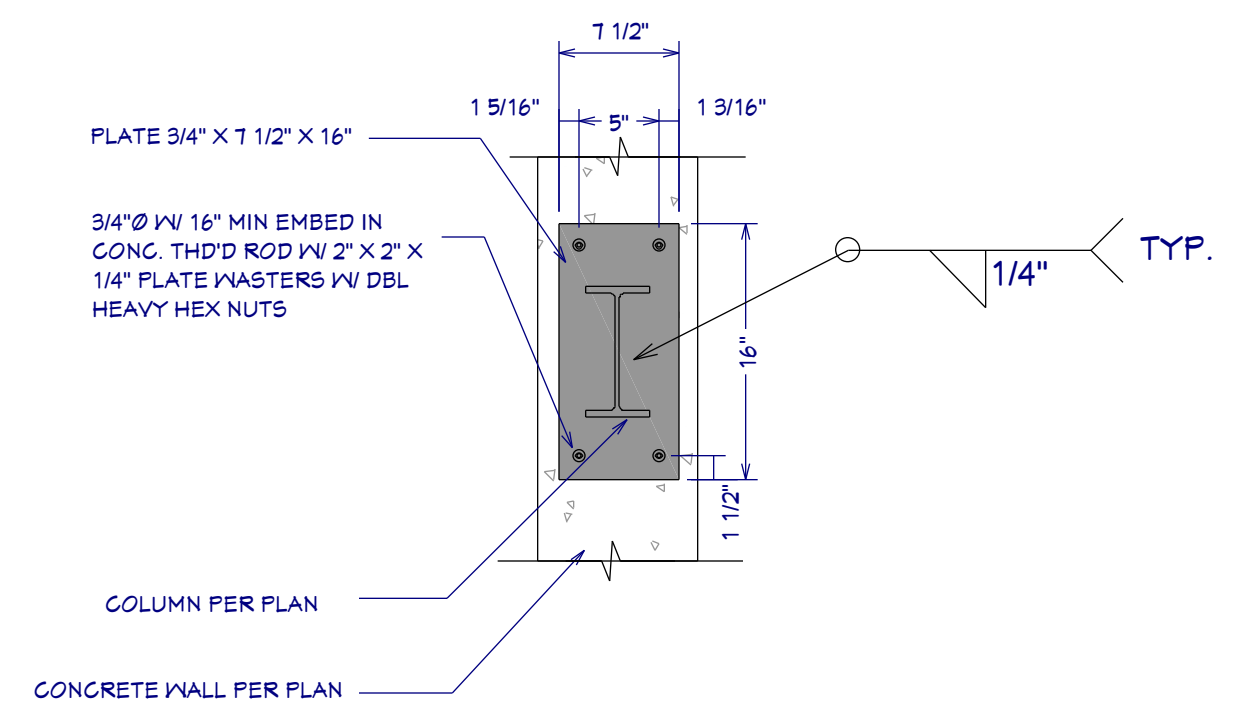
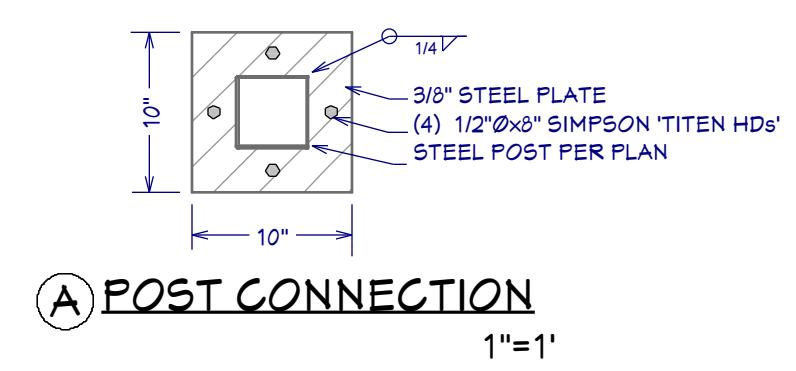
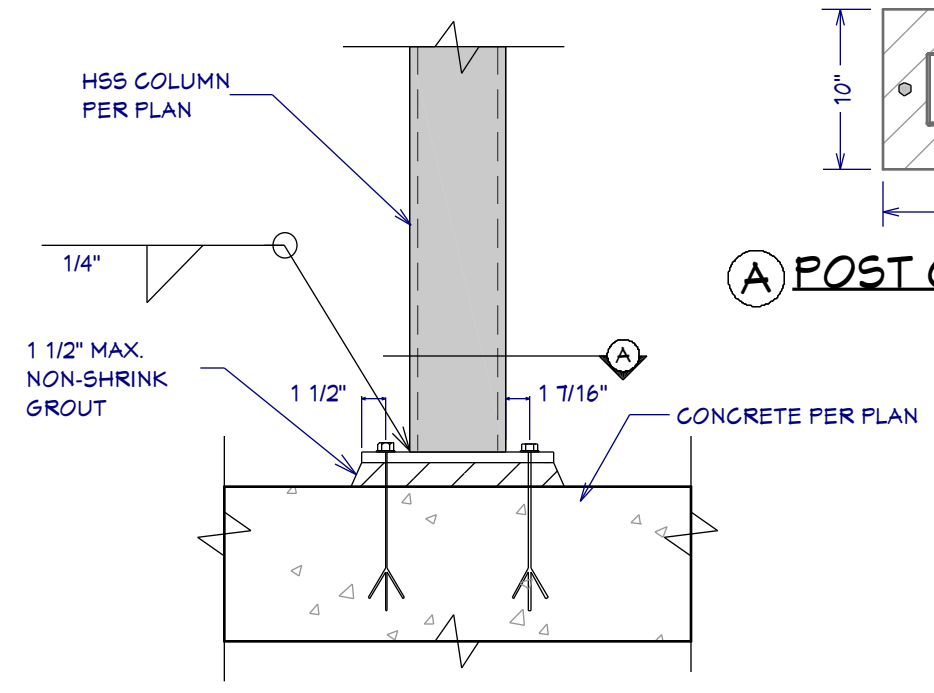
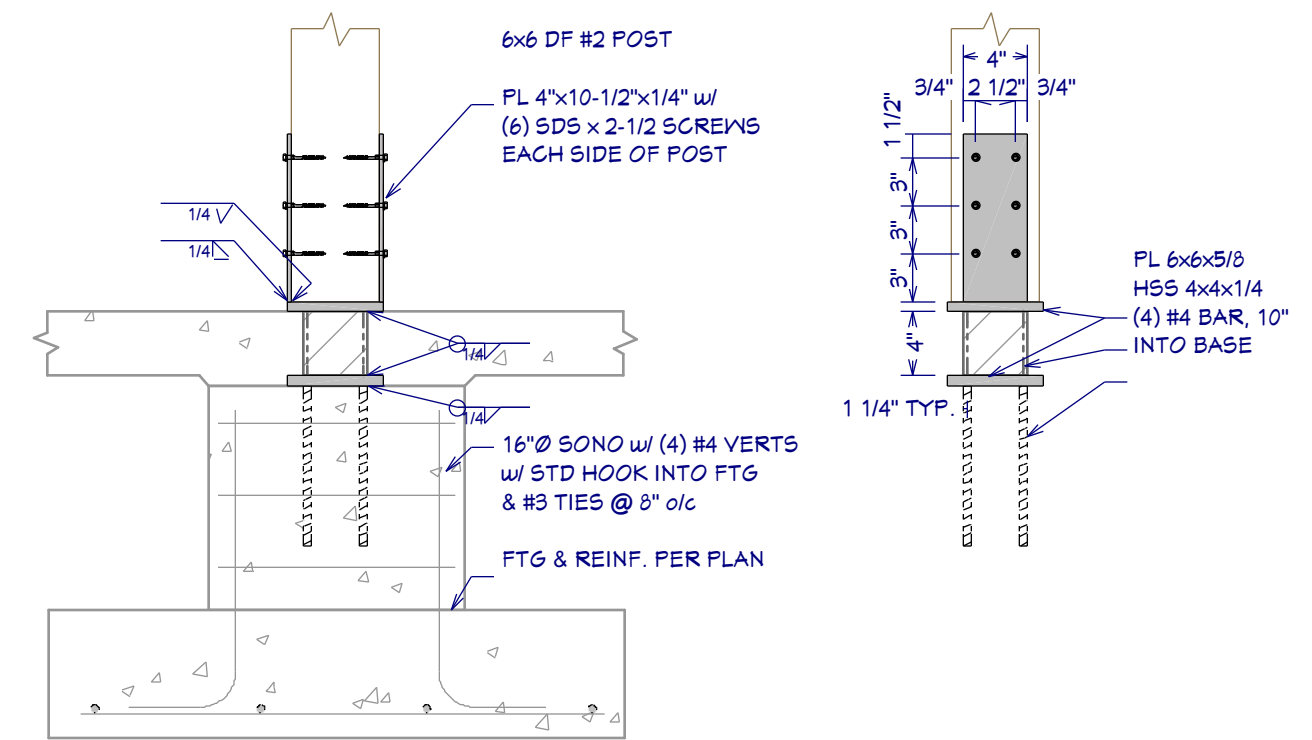
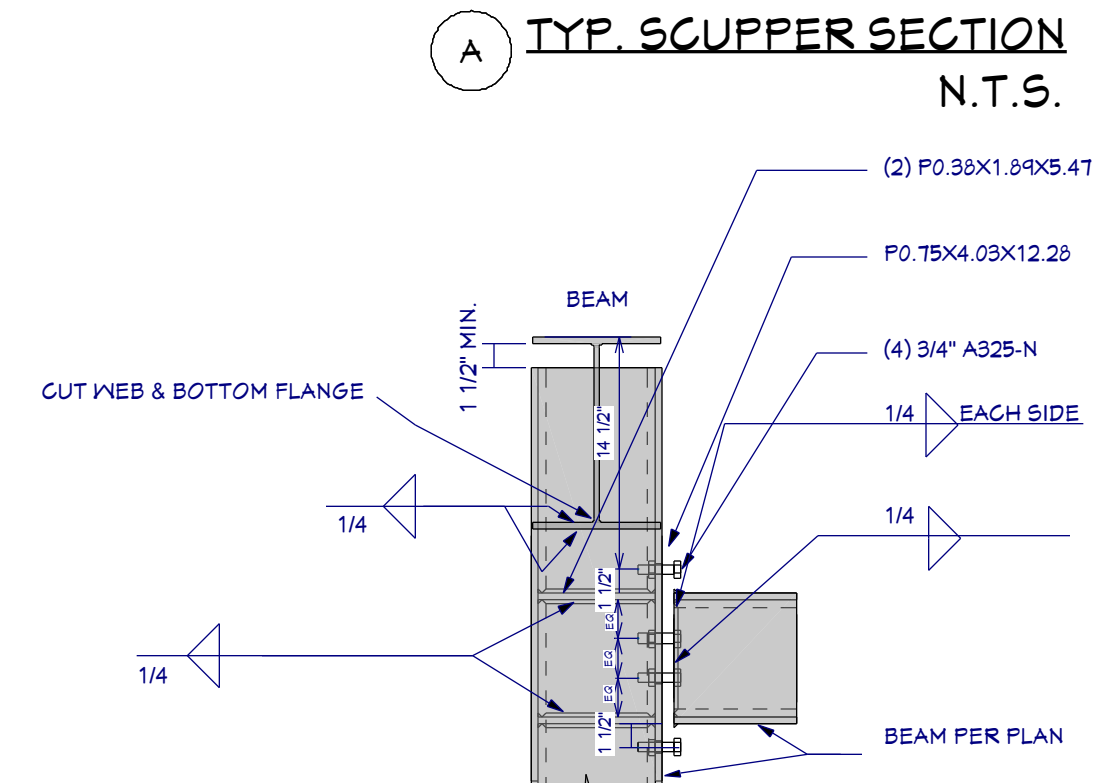
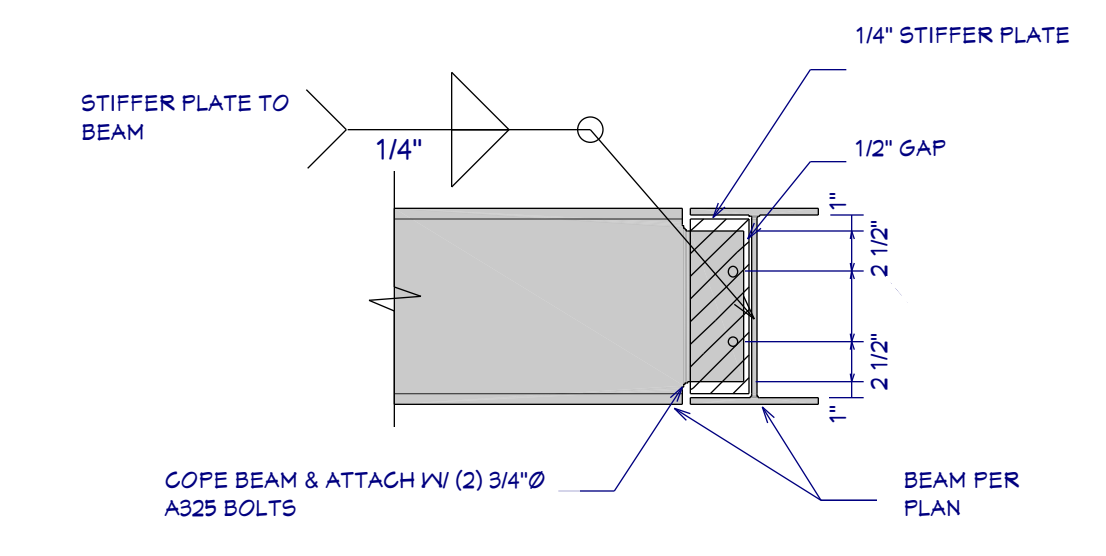
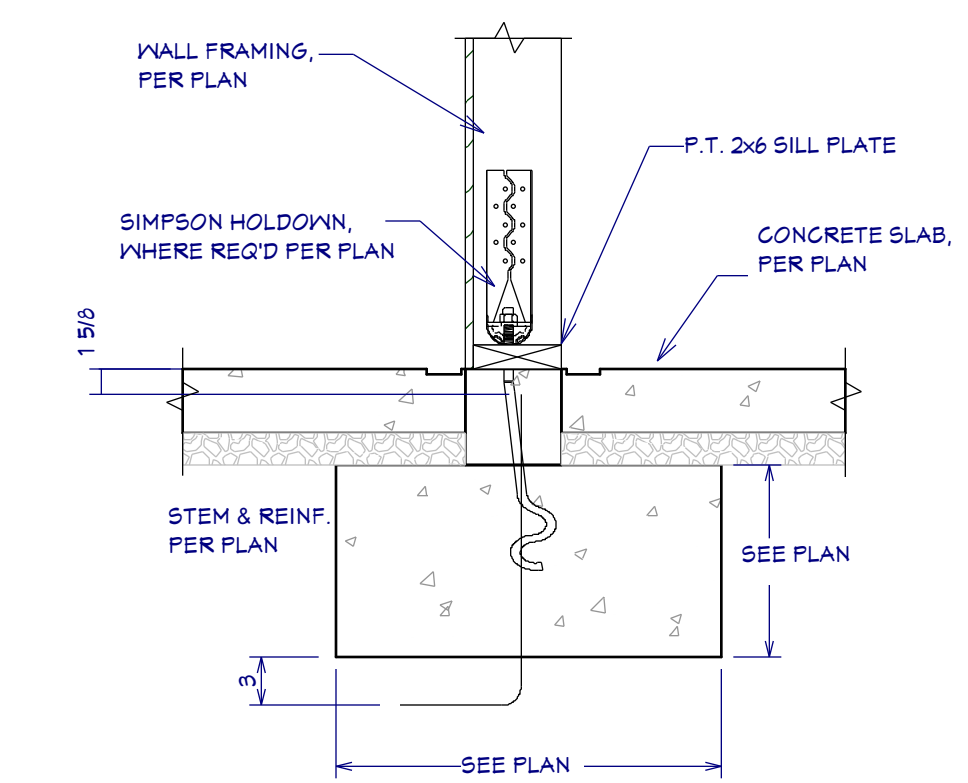
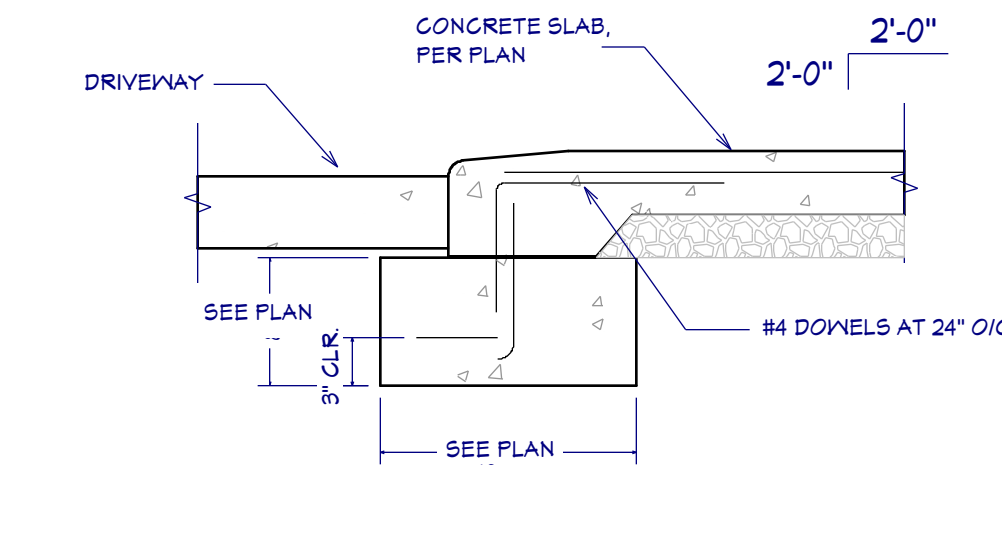
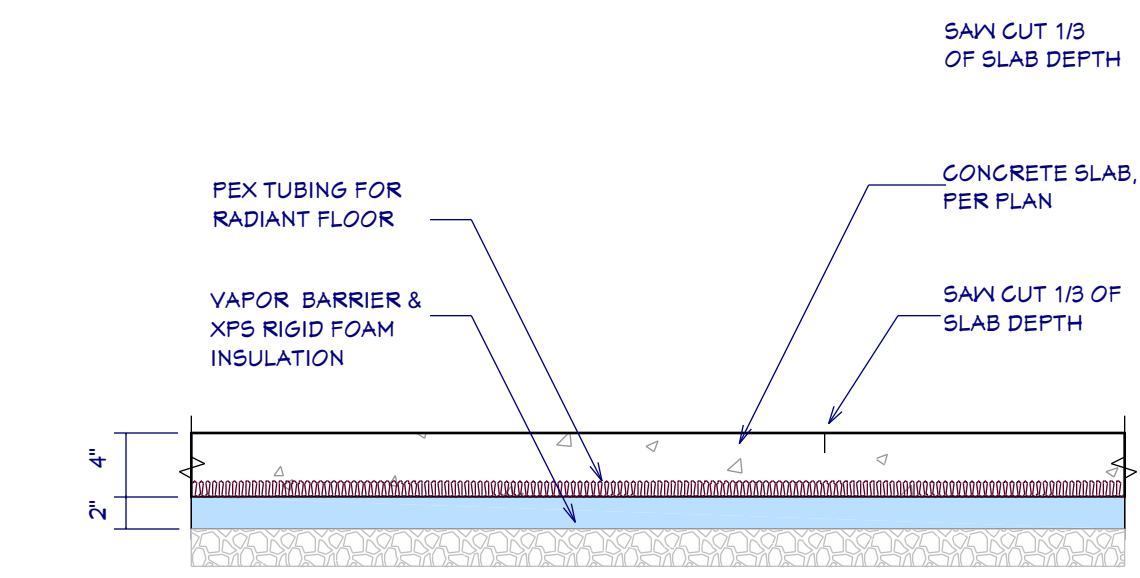
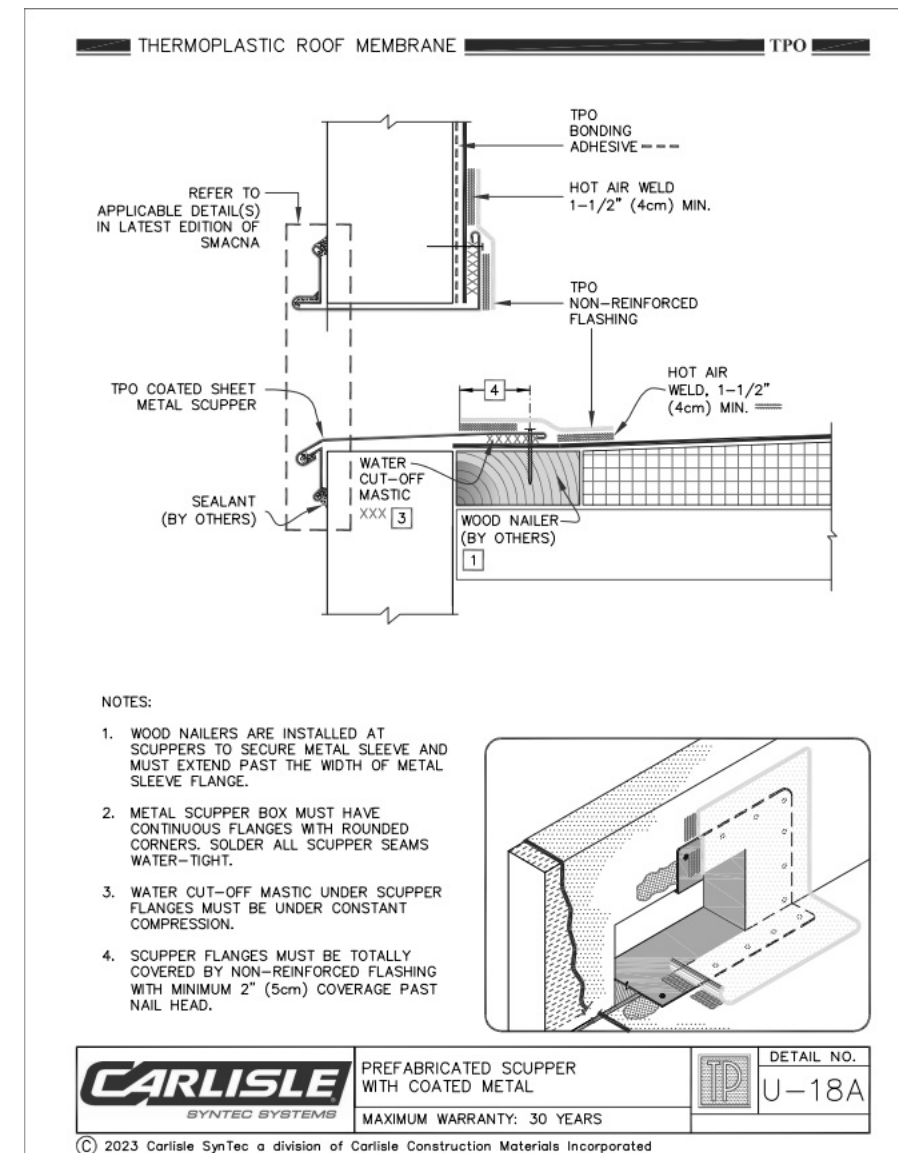
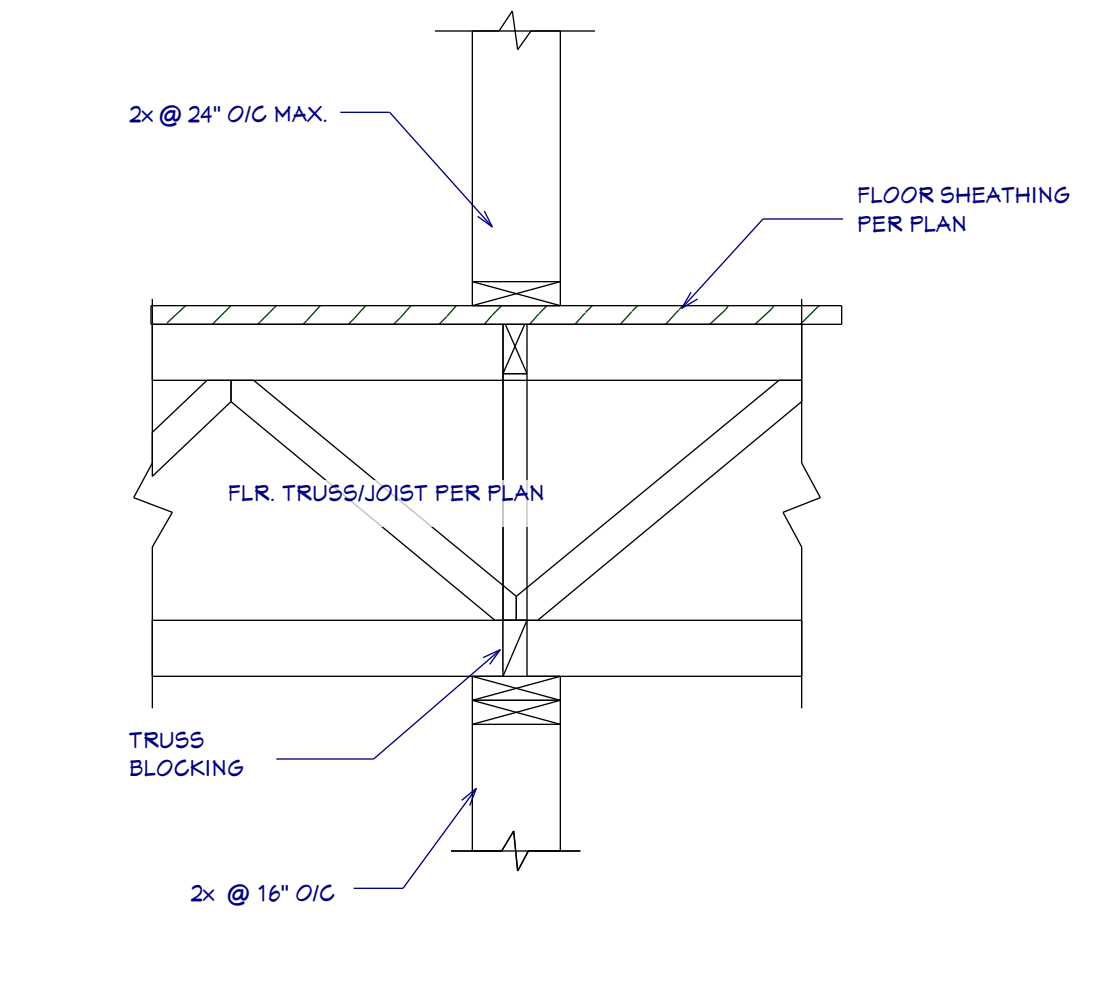
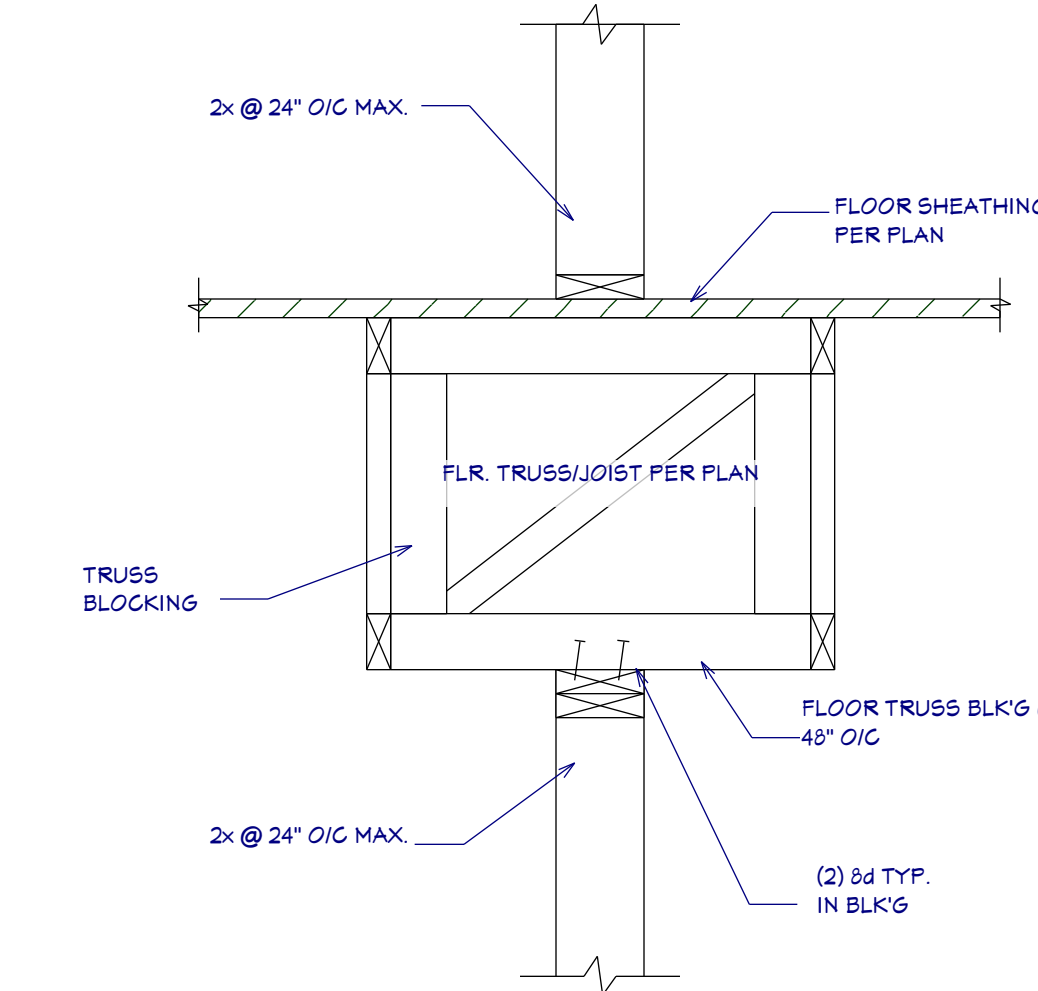
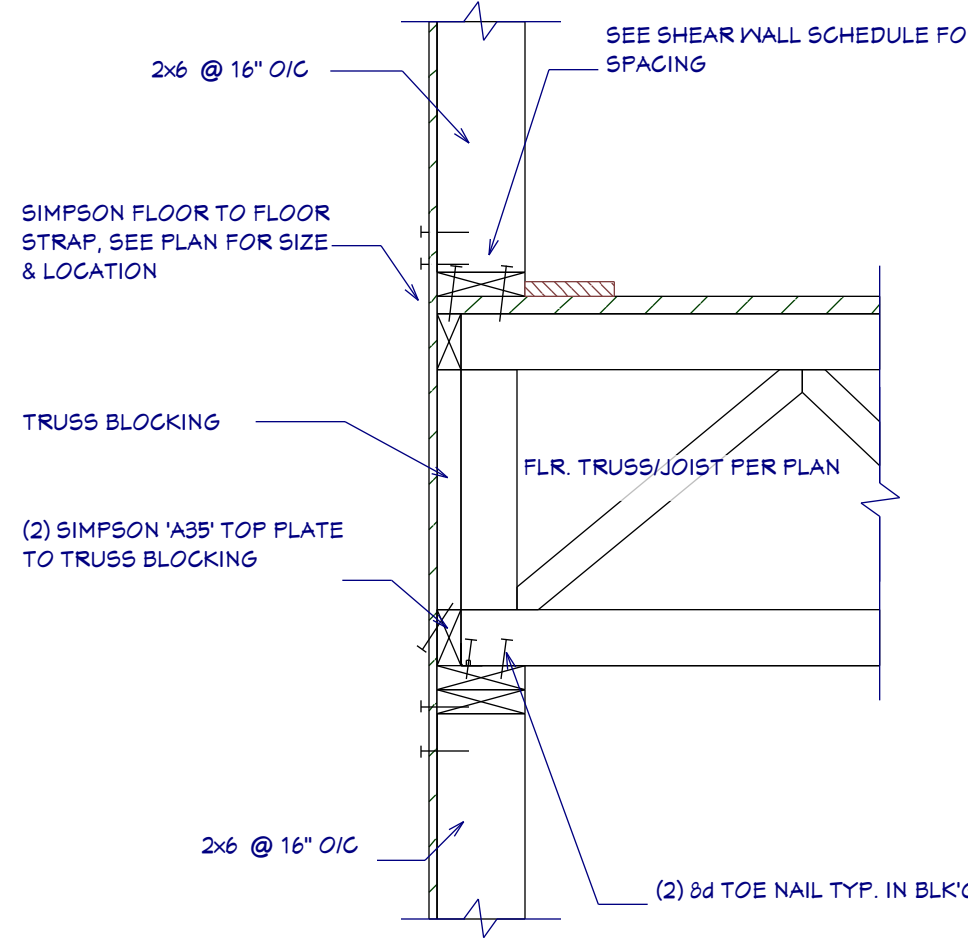
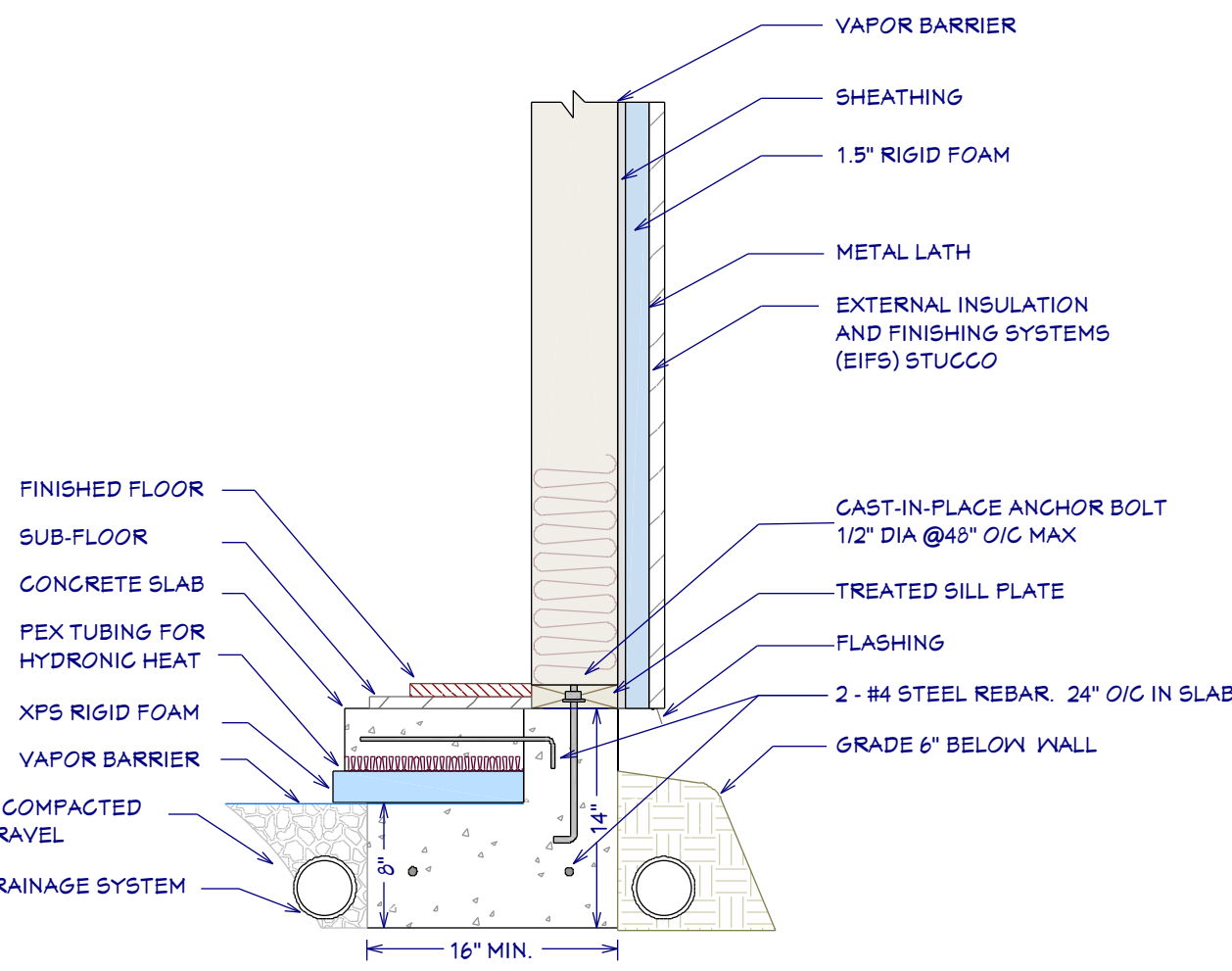
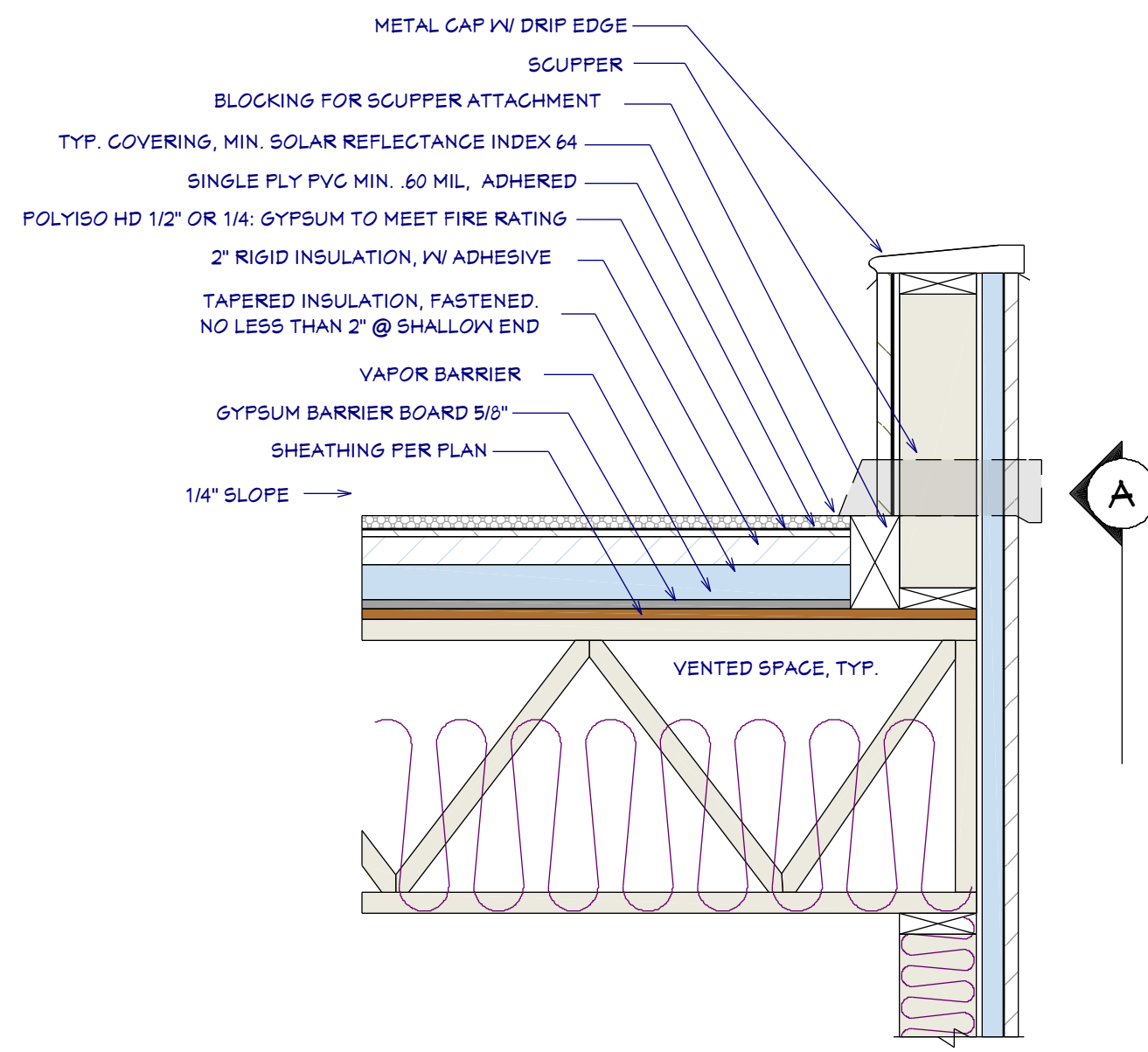
**SECTIONS**

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## WINDOW SCHEDULE

WINDOW SCHEDULE						
REF.	SYMBOL	FLOOR	NO.	SIZE	HEIGHT	DESCRIPTION
	W01	1	2	20'0" x 32"	108"	FIXED GLASS
	W02	1	3	32'0" x 30"	96"	FIXED GLASS
	W03	1	6	25'0" x 21"	50"	FIXED GLASS
	W04	1	3	32'0" x 38"	54"	FIXED GLASS
	W05	1	3	25'0" x 21"	96"	FIXED GLASS
	W06	1	4	26'0" x 30"	96"	FIXED GLASS
	W07	1	1	23'0" x 21"	12"	SINGLE CASEMENT-HL
	W08	1	1	23'0" x 21"	12"	SINGLE CASEMENT-HR
	W09	2	2	23'0" x 21"	12"	FIXED GLASS
	W10	2	3	25'0" x 21"	60"	FIXED GLASS
	W11	2	6	5'0" x 6'0"	60"	FIXED GLASS
	W12	2	3	32'0" x 38"	96"	FIXED GLASS
	W13	2	2	5'0" x 6'0"	10"	FIXED GLASS
	W14	2	3	23'0" x 21"	54"	SINGLE CASEMENT-HL
	W15	2	1	23'0" x 21"	42"	SINGLE CASEMENT-HL
	W16	2	6	25'0" x 21"	60"	SINGLE CASEMENT-HL
	W17	2	3	23'0" x 21"	54"	SINGLE CASEMENT-HR
	W18	2	2	25'0" x 21"	60"	SINGLE CASEMENT-HR

## WINDOW NOTES:

- MAX. WINDOW FENESTRATION VALUES: U-FACTOR 0.30 / SHGC 0.25
- WOOD WINDOWS WITH CLAD EXTERIOR
- INTERIOR WINDOW MATERIALS: PAINTED OR STAINED WITH FACTORY FINISH, VERIFY WITH OWNER
- WINDOW HARDWARE TO BE OWNER SELECTED AT TIME OF ORDER
- WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES, UNO BY MFG
- SEE WINDOW SCHEDULE CALLOUT FOR WINDOWS THAT USE A WOOD OR STEEL BEAM FOR THE HEADER
- BEDROOM WINDOWS SILL FINISHED MUST BE WITHIN 44" OF THE FLOOR AND PROVIDE MINIMUM CLEAR OPENINGS OF 5.7 SQ. FEET WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20" - HRC R310.1-R310.1.4

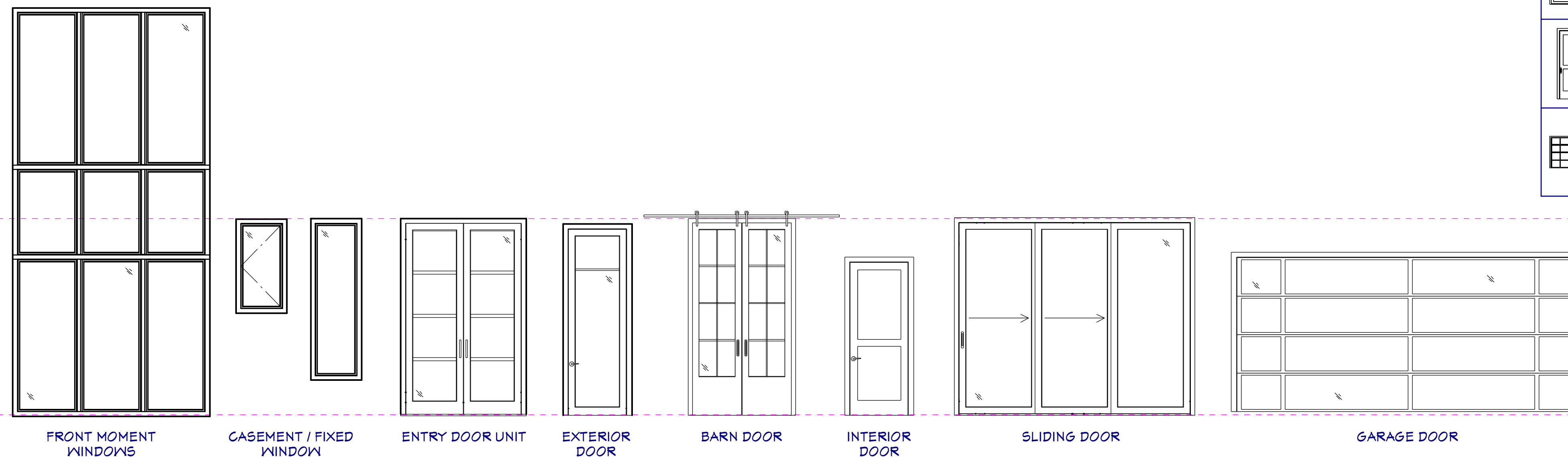
### WINDOW FLASHING DETAIL



### BASIC WINDOW FLASHING INSTALLATION\*

- PREPARE ROUGH OPENING: CUT STND. "I-CUT" IN THE WRB. CUT (2) 45° SLITS AT TOP TO CREATE FLAP. APPLY FLEXIBLE FLASHING AT SILL + 6" MIN. UP JAMBS. SECURE FLEXED EDGE OF FLASHING WITH MECHANICAL FASTENERS.
- INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS.
- APPLY FLASHING TAPE AT JAMBS, EXTENDING 1" ABOVE AND BELOW WINDOW HEAD FLANGE AND BOTTOM OF SILL FLASHING. APPLY FLASHING TAPE ALONG HEAD, EXTENDING BEYOND OUTER EDGES OF JAMB FLASHING.
- REPLACE WRB FLAP AT HEAD AND TAPE REMAINING CUTS IN WRB

\*REVISE INSTALLATION PROCESS ACCORDING TO WINDOW MANUFACTURER'S INSTRUCTIONS



## DOOR NOTES:

- DOORS SHALL BE 96", UNO
- ALL DOORS SHALL BE SOLID CORE 1 3/4" THICK, UNO
- INTERIOR DOORS SHALL BE PAINTED OR STAINED, VERIFY WITH OWNER
- DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1 3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING
- EXTERIOR EXIT DOORS SHALL BE 36" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN. DOOR SHALL BE OPERABLE FROM INSIDE
- GARAGE DOORS TO BE SECTIONAL INSULATED, OVERHEAD DOORS. GLASS PANELS TO BE INSULATED
- ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING
- ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS
- BARN DOORS, MEASURE TO FIT OPENING. ALL HARDWARE TO BE STAINLESS, UNO

## DOOR SCHEDULE

DOOR SCHEDULE						
REF.	SYMBOL	FLOOR	NO.	SIZE	HEIGHT	DESCRIPTION
	D01	1	1	36" x 96"	96"	EXT. HINGED-DOOR P03
	D02	1	6	34" x 96"	96 1/2"	HINGED-DOOR P03
	D03	1	1	12" x 120"	121"	ARCHED ENTRY DOOR
	D04	1	2	36" x 120"	121"	EXT. HINGED-GLASS PANEL
	D05	1	1	36" x 120"	122 1/2"	BARN-DOOR P03
	D06	1	1	60" x 120"	122 1/2"	DOUBLE BARN-GLASS PANEL
	D07	1	2	36" x 96"	96"	EXT. HINGED-GLASS PANEL
	D08	1	4	34" x 96"	96 1/2"	POCKET-DOOR P03
	D09	2	4	34" x 96"	96 1/2"	HINGED-DOOR P03
	D10	2	1	30" x 96"	96 1/2"	HINGED-DOOR P03
	D11	2	1	36" x 96"	96 1/2"	BARN-DOOR P03
	D12	2	2	36" x 96"	96 1/2"	BARN-GLASS PANEL
	D13	1	1	36" x 96"	96 1/2"	HINGED-DOOR P03
	D14	1	2	144" x 120"	121"	3-PANEL EXTERIOR SLIDER
	D15	1	1	12" x 96"	96"	GARAGE UTILITY DOOR
	D16	1	2	216" x 96"	96"	GARAGE-GLASS-PANEL GARAGE DOOR

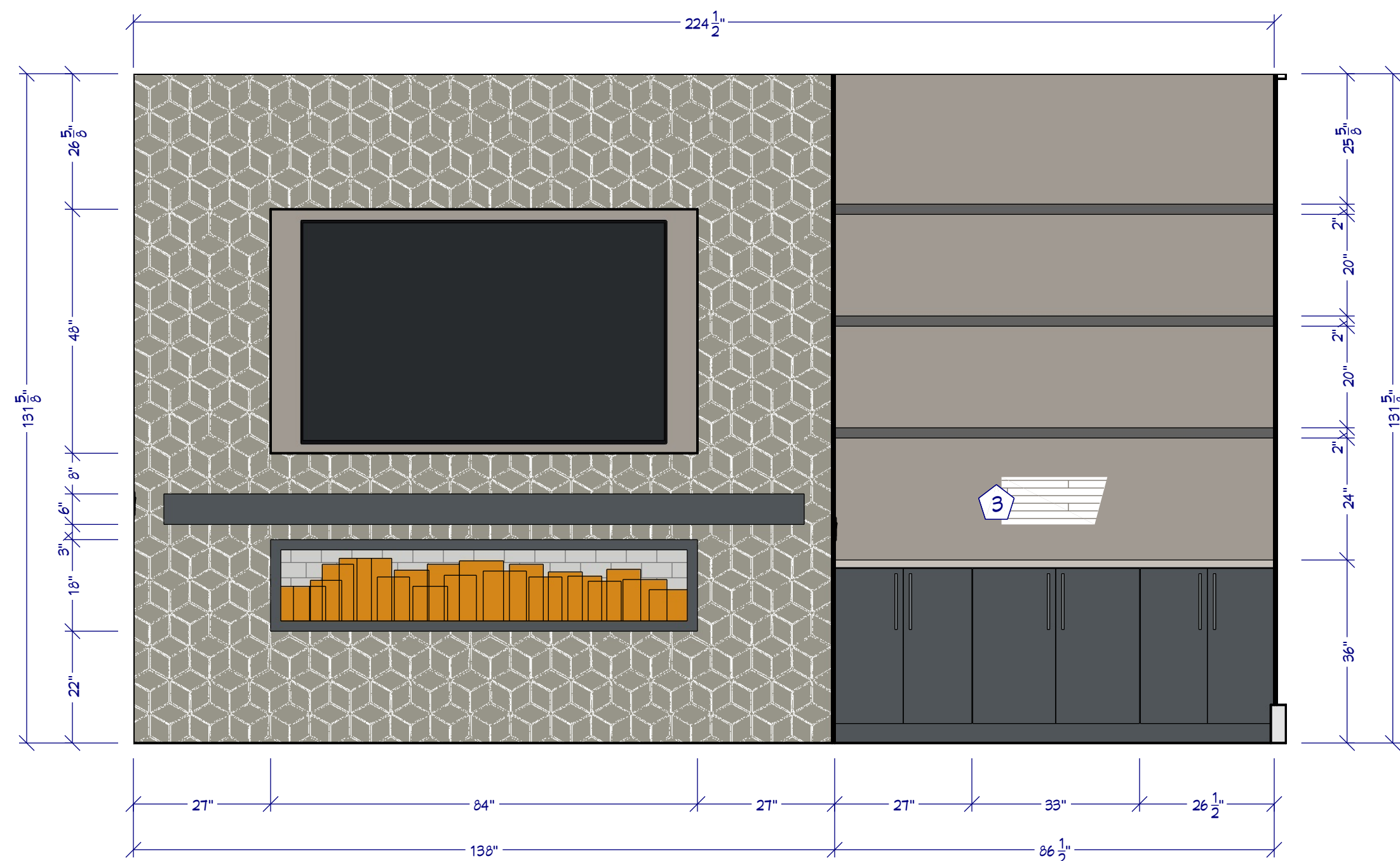
SHEET NUMBER  
**15**

SCALE @ 24" X 36"  
DATE:  
DRAWN BY:

**DOOR & WINDOW SCHEDULE**

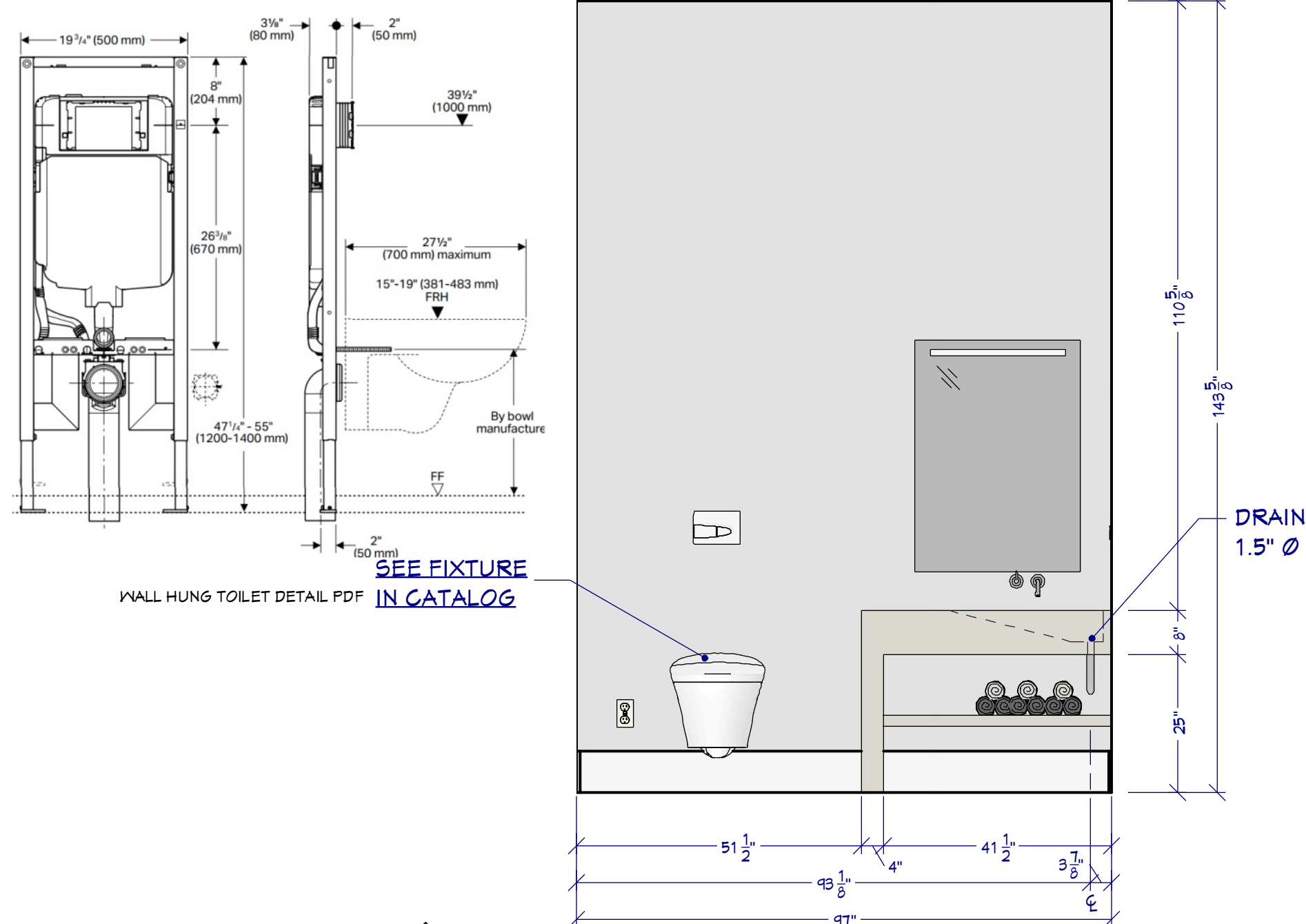
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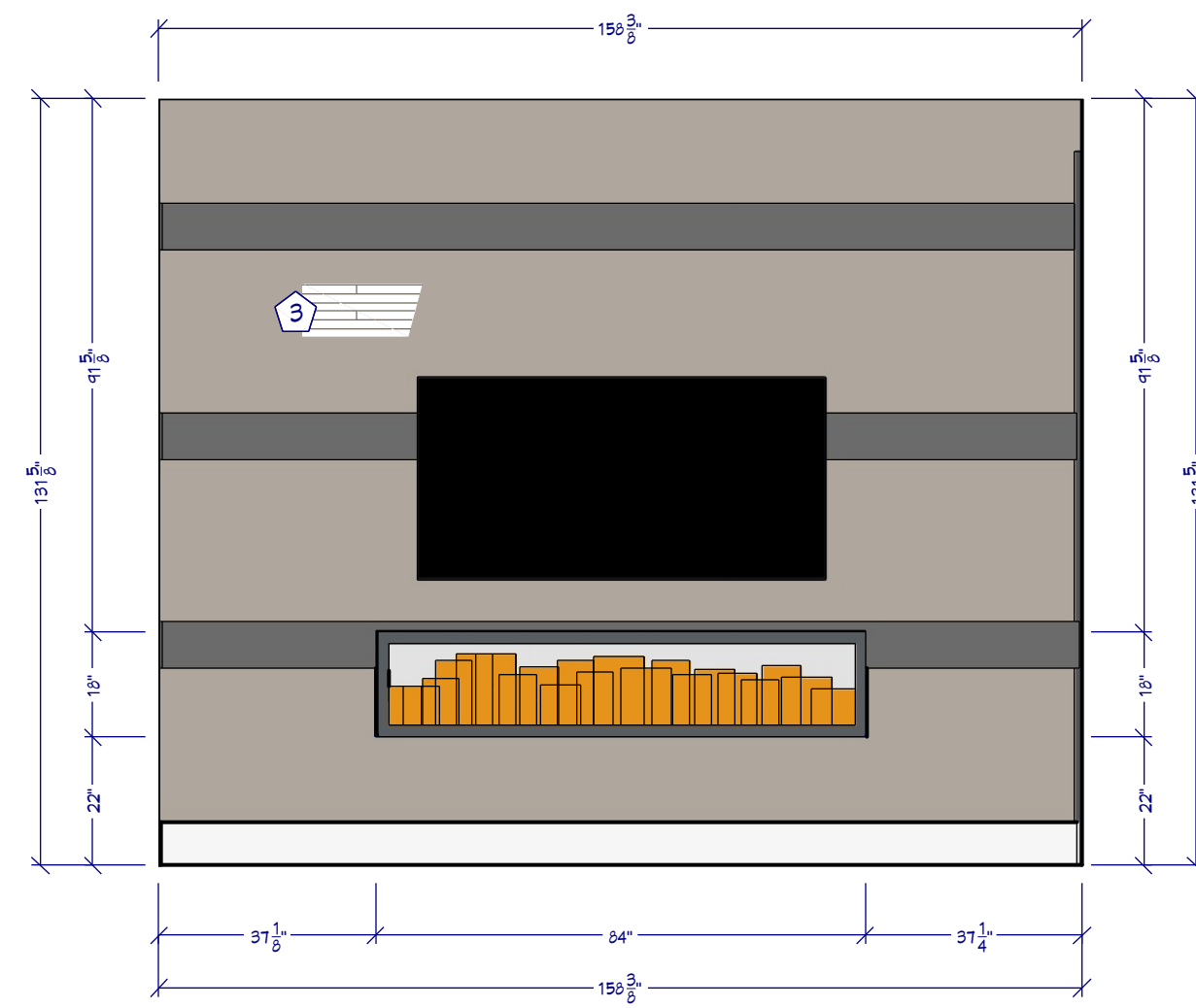
**L2 LIVING ROOM**

1/2"=1'



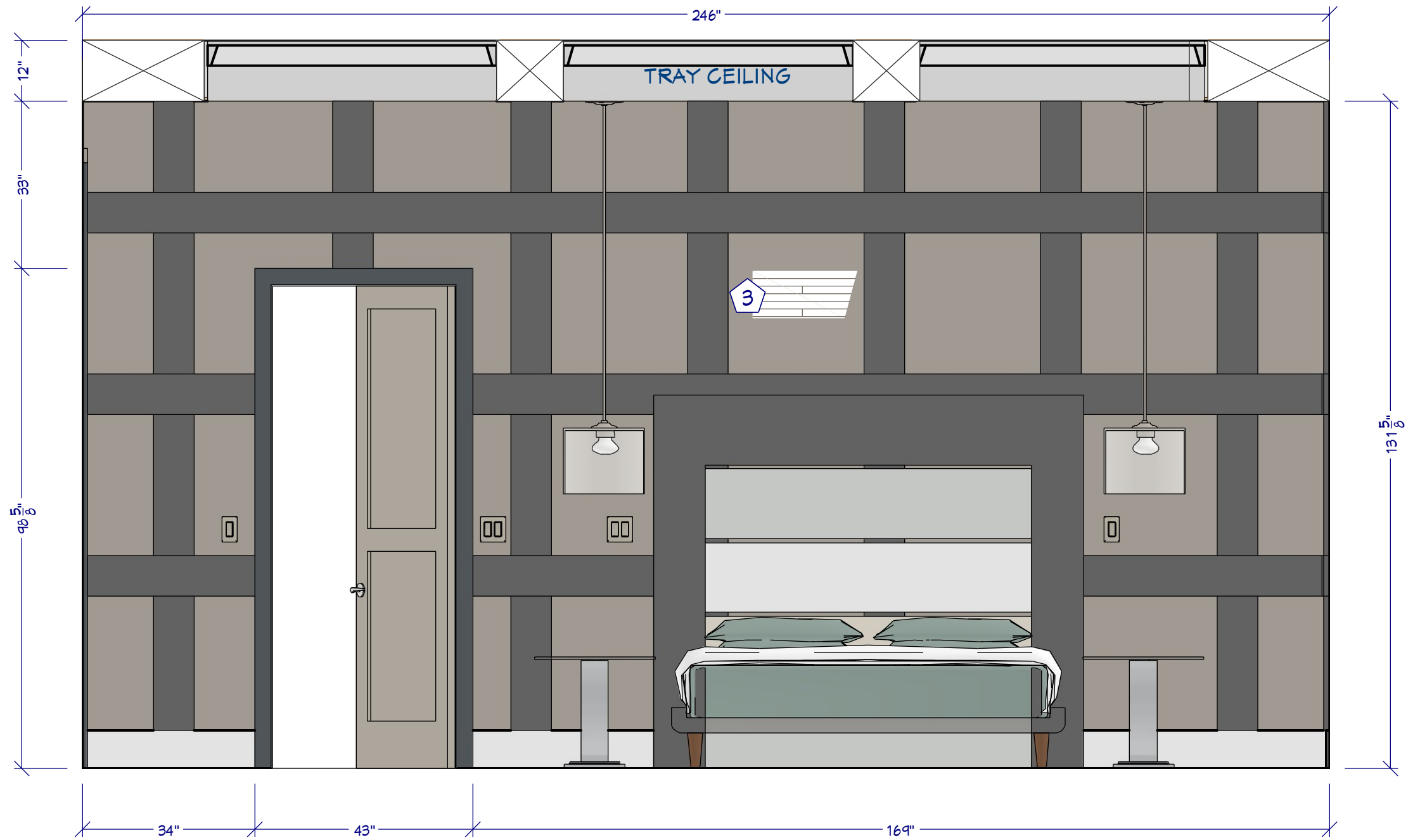
**L6 POWDER ROOM**

1/2"=1'



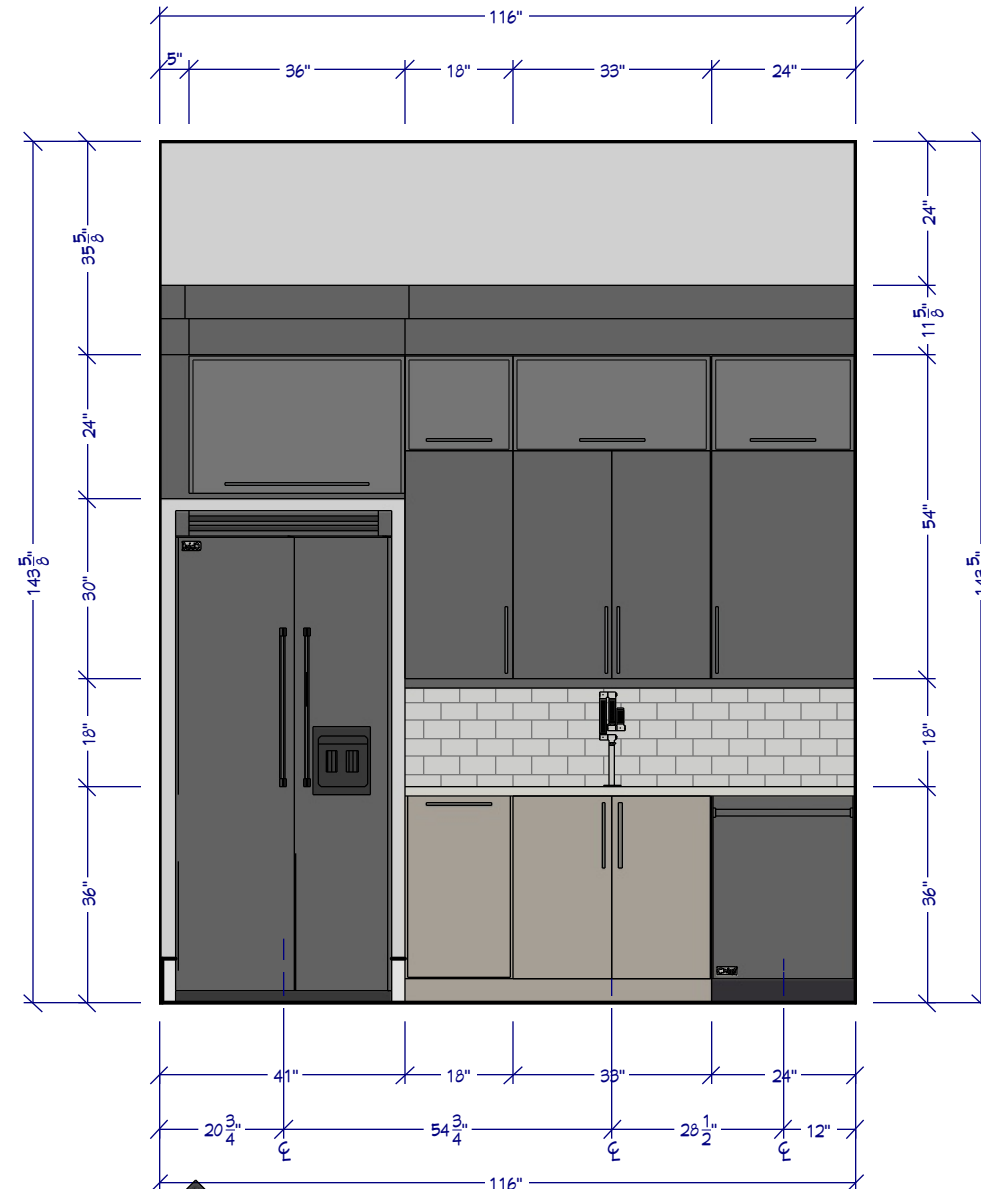
**L4 BEDROOM SUITE**

3/8"=1'



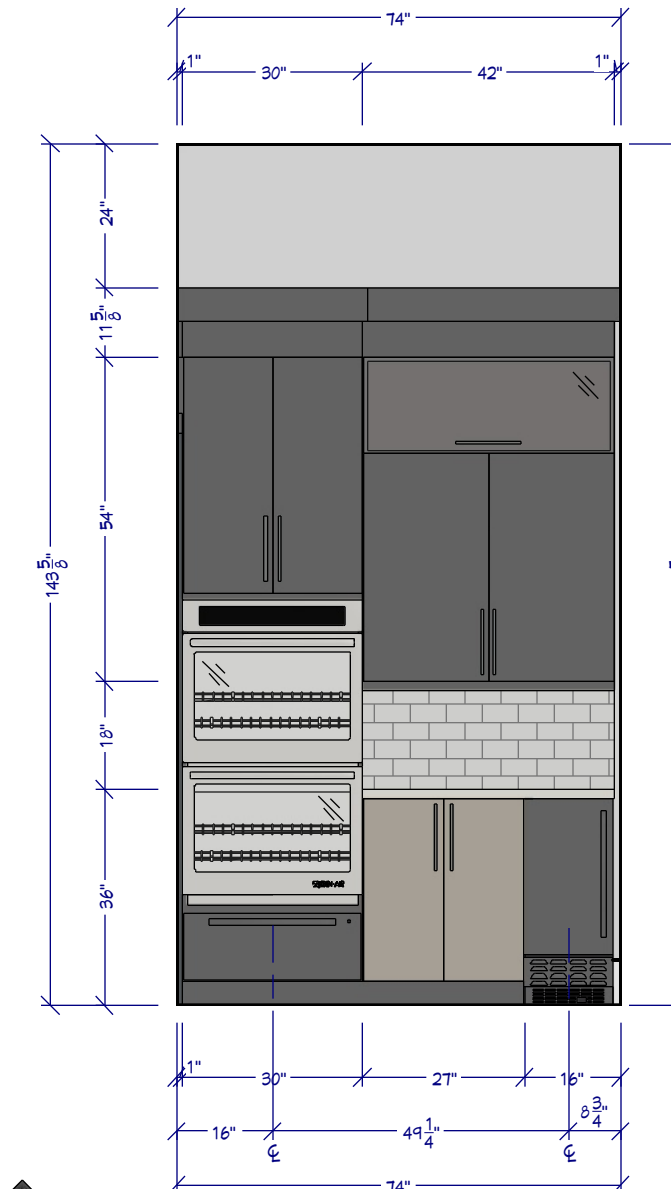
**L3 BEDROOM SUITE**

1/2"=1'



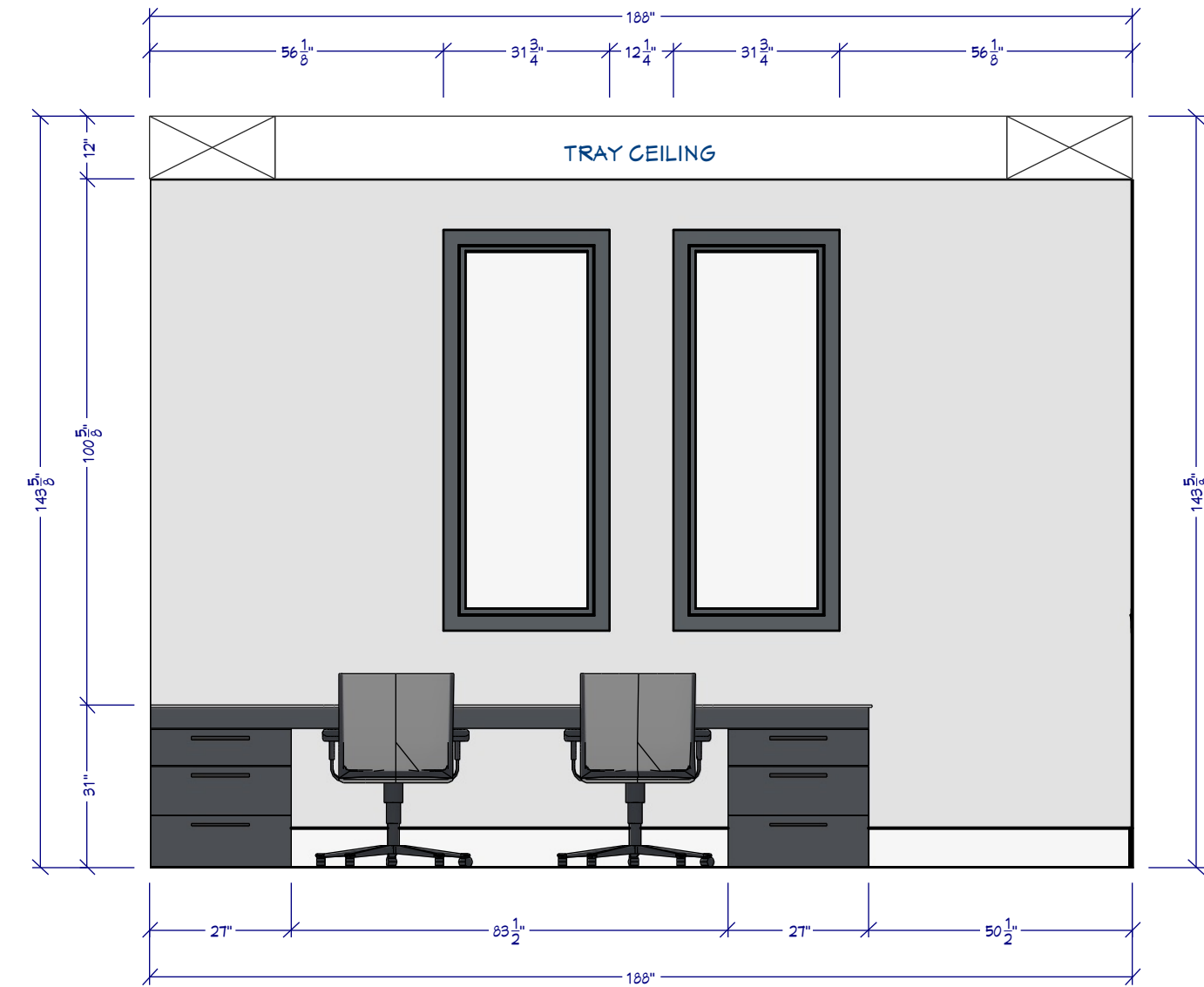
**K6 BUTLER'S ELEVATION**

3/8"=1'



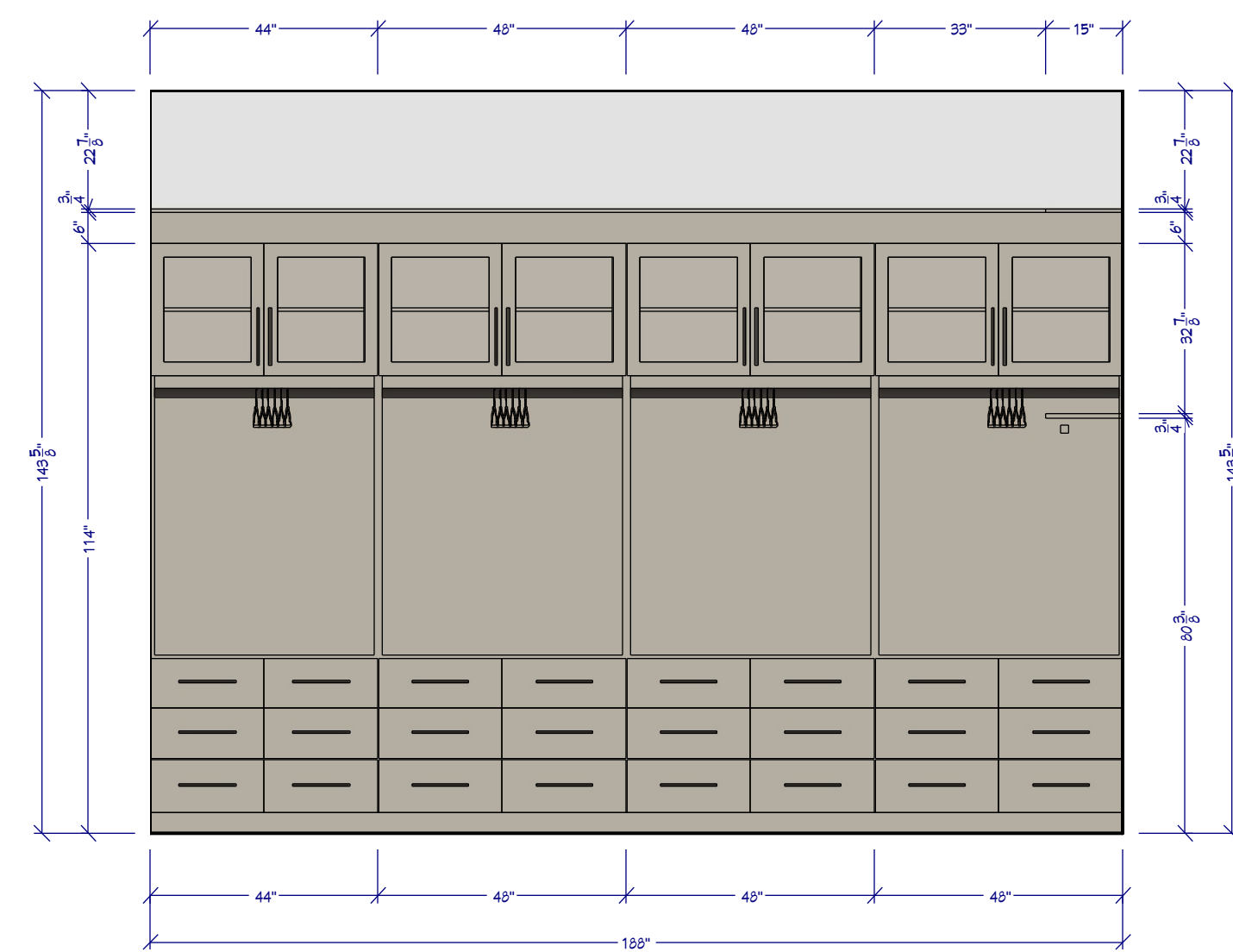
**K7 BUTLER'S ELEVATION**

3/8"=1'



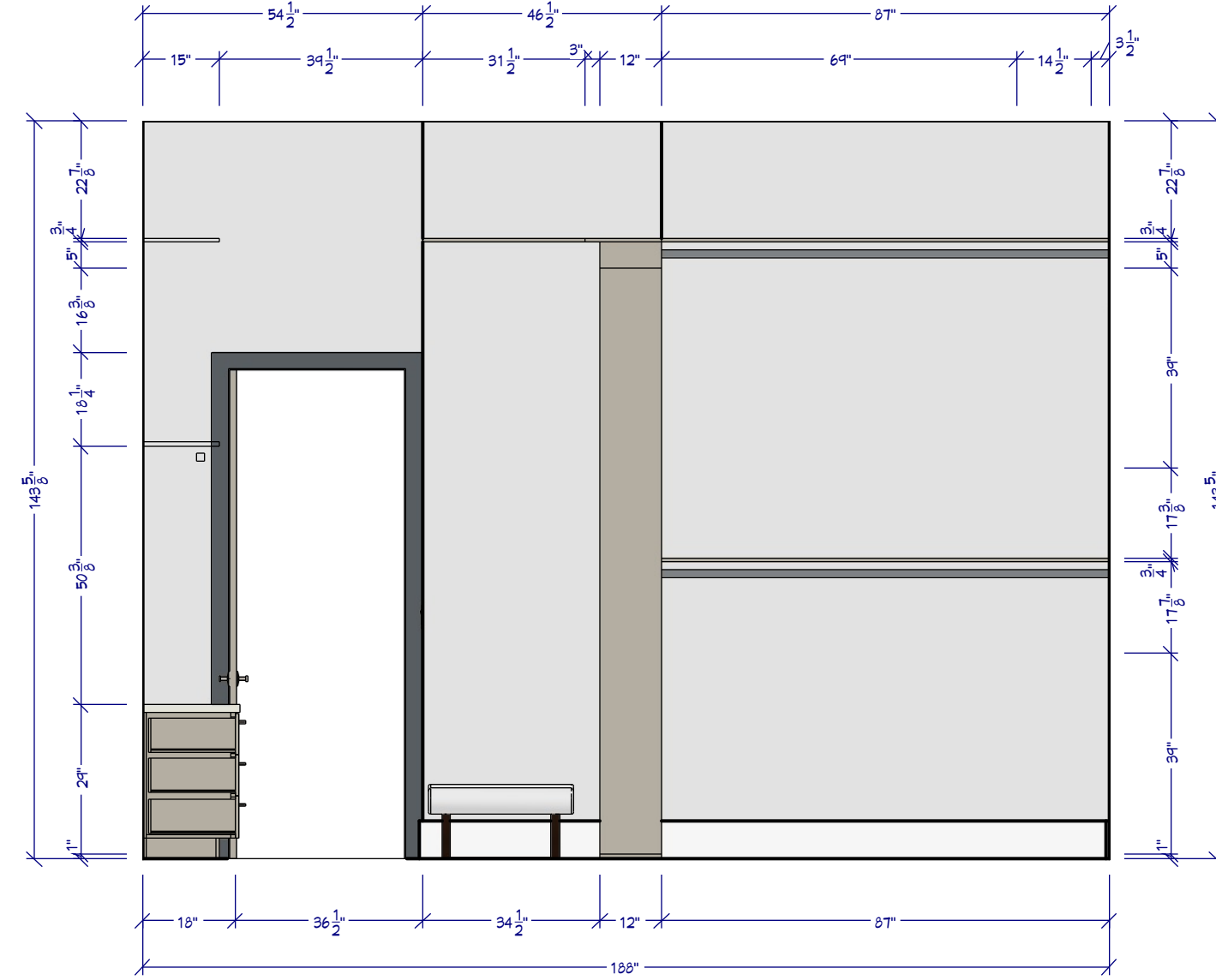
**L4 OFFICE ELEVATION**

3/8"=1'



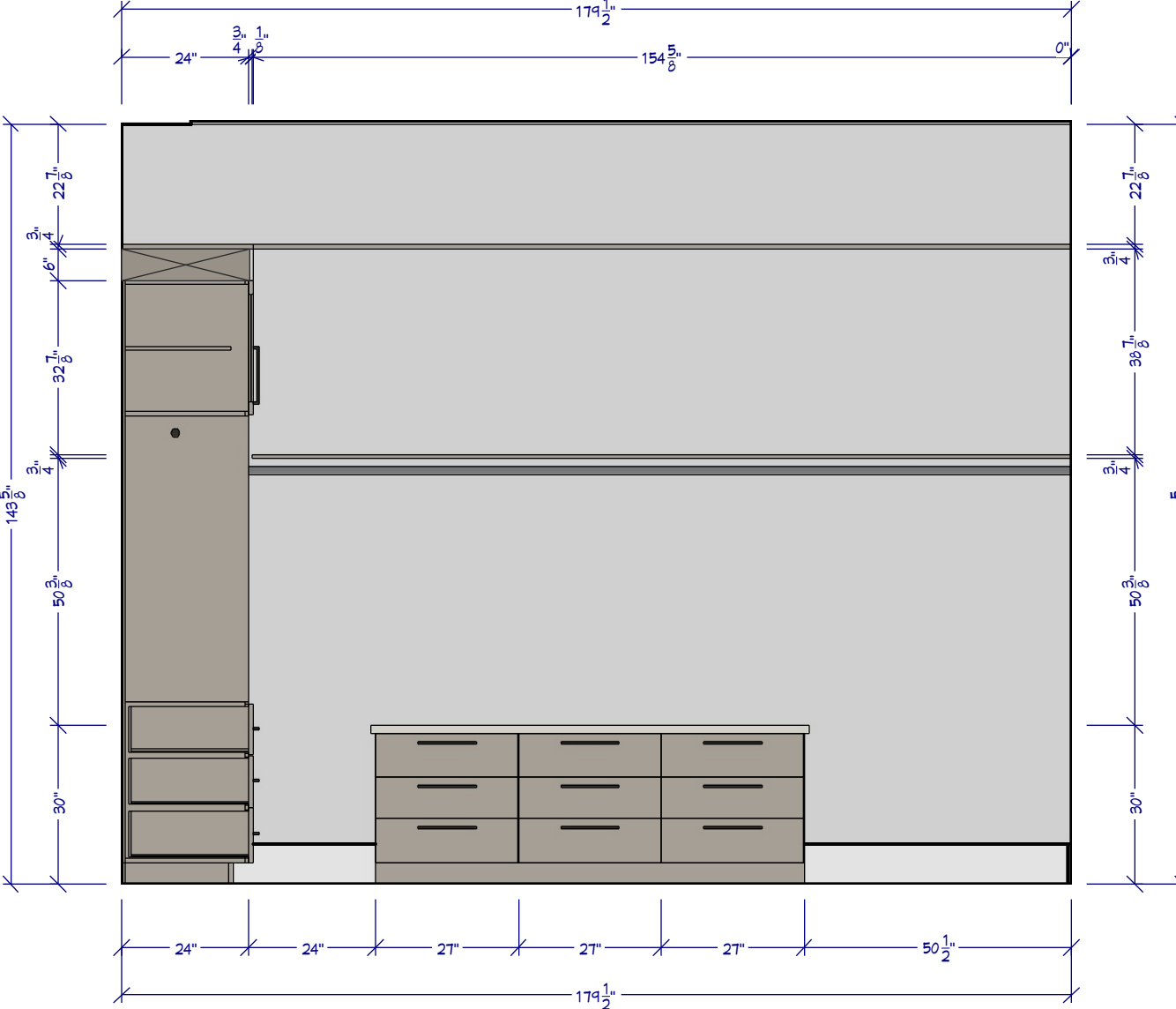
**C1 PRIMARY CLOSET**

3/8"=1'



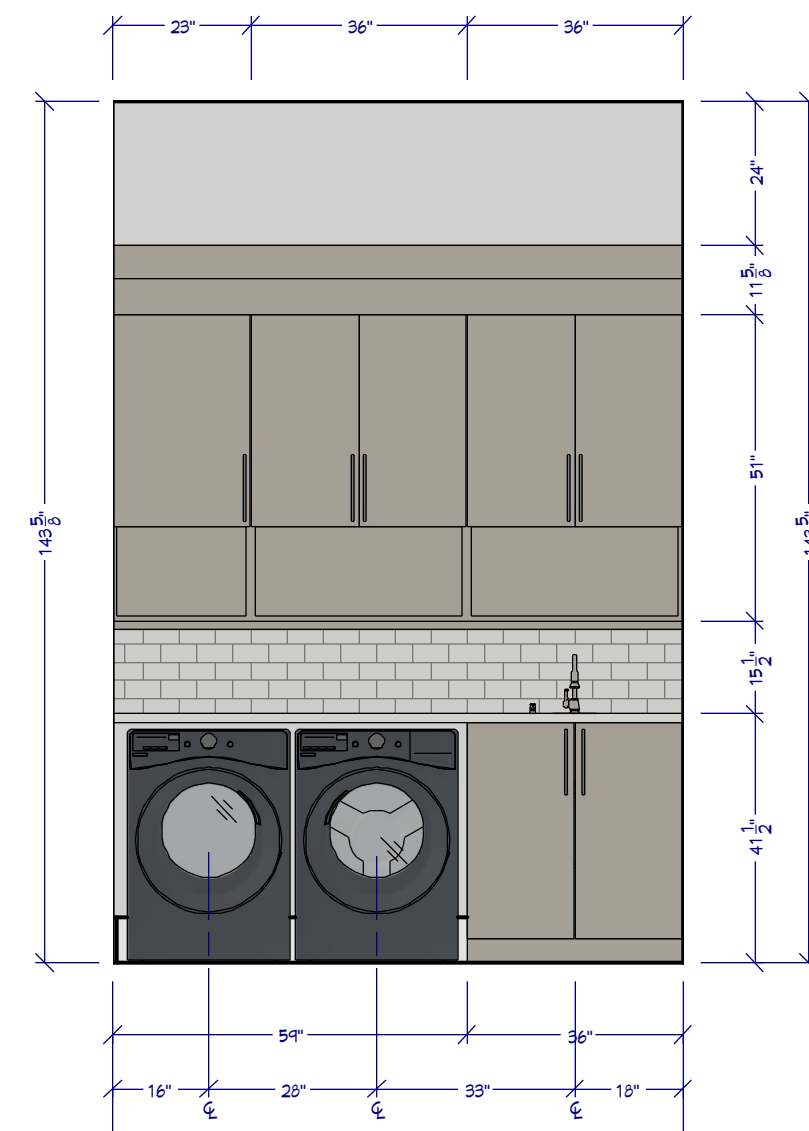
**C2 PRIMARY CLOSET**

3/8"=1'



**C3 PRIMARY CLOSET**

3/8"=1'



**L5 LAUNDRY ELEVATION**

1/2"=1'







**LIVING ROOM PERSPECTIVE**  
FOR ILLUSTRATION ONLY NO SCALE



**KITCHEN PERSPECTIVE**  
FOR ILLUSTRATION ONLY NO SCALE



**ENTERTAINMENT ROOM PERSPECTIVE**  
FOR ILLUSTRATION ONLY NO SCALE



**BEDROOM PERSPECTIVE**  
FOR ILLUSTRATION ONLY NO SCALE



**OFFICE PERSPECTIVE**  
FOR ILLUSTRATION ONLY NO SCALE



**GARAGE PERSPECTIVE**  
FOR ILLUSTRATION ONLY NO SCALE



**BATHROOM PERSPECTIVE**  
FOR ILLUSTRATION ONLY NO SCALE



**CLOSET PERSPECTIVE**  
FOR ILLUSTRATION ONLY NO SCALE

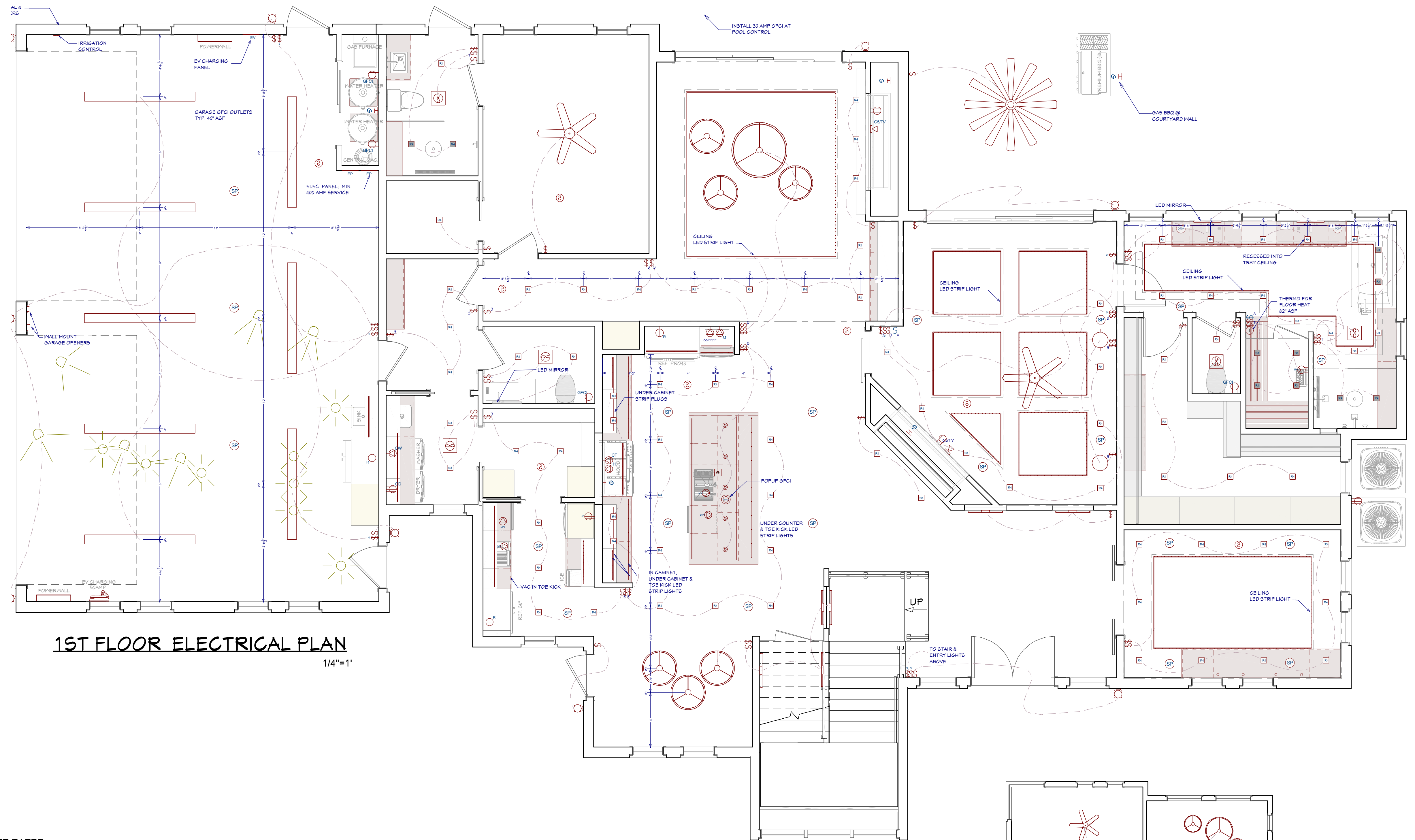


**1ST FLOOR PERSPECTIVE**  
FOR ILLUSTRATION ONLY NO SCALE



**NOTES:**

**ELECTRICAL:**  
 ALL LIGHT FIXTURES TO BE HIGH-EFFICACY LED LAMPS  
 ALL INDOOR RECESSED LIGHTS SHALL BE SEALED  
 INTERIOR LIGHTING CONTROLS WITH DIMMERS OR SENSORS EXCLUDING BATHROOM AND HALLWAYS  
 EXTERIOR LIGHTING CONTROLS WITH AUTOMATIC SHUT-OFF WHEN DAYLIGHT IS PRESENT  
 ELECTRICAL OUTLETS IN ROOMS SHALL BE INSTALLED PER CODE TYP.  
 HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, VACUUM, ETC.  
 PROVIDE MIN. 400 AMP SERVICE TO MAIN PANEL(S)  
 ALL APPLIANCES & UTILITIES TO HAVE DEDICATED CIRCUITS. SEE MFG'S SPECS. FOR REQUIREMENTS  
 ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, FOUNDATION AND GARAGE SHALL BE G.F.C.I. PER NATIONAL ELECTRICAL CODE REQUIREMENTS  
 ALL BEDROOM OUTLETS AND LIGHTS BE ARCH FAULT PROTECTED  
 ALL VENTILATION FANS SHALL BE ON TIMER SWITCHES, UNO. PROVIDE ONE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS  
 CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION  
 FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER  
 FIXTURES TO BE SELECTED BY HOME OWNER  
 UNO - ALL SWITCHES TO BE 48" ASF. INTERIOR OUTLETS TO BE 15" ASF. OUTLETS OVER COUNTERTOPS TO BE 3" ABOVE COUNTER FROM BOTTOM. GARAGE OUTLETS TO BE 40" ASF. (ASF = ABOVE SUBFLOOR)  
 SOLAR INSTALLATION - PER TYP. SOLAR ARRAY DETAIL AND PER CITY GREEN BUILDING GUIDELINES  
 ELECTRICAL INSTALLATION SHALL ALLOW FOR BI-DIRECTION FLOW FOR EXCESS ELECTRICAL TO BE SOLD TO UTILITY  
 INSTALL BATTERY WALL PER MFG. DETAILS.  
**AUDIO:**  
 LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;  
 AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;  
 LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.  
**DATA / CABLE:**  
 LOCATE SECURITY PANELS AS INDICATED IN THE PLAN;  
 SYSTEM TO BE APPROVED BY HOME OWNER. HOME OWNER PROVIDED & INSTALLED.

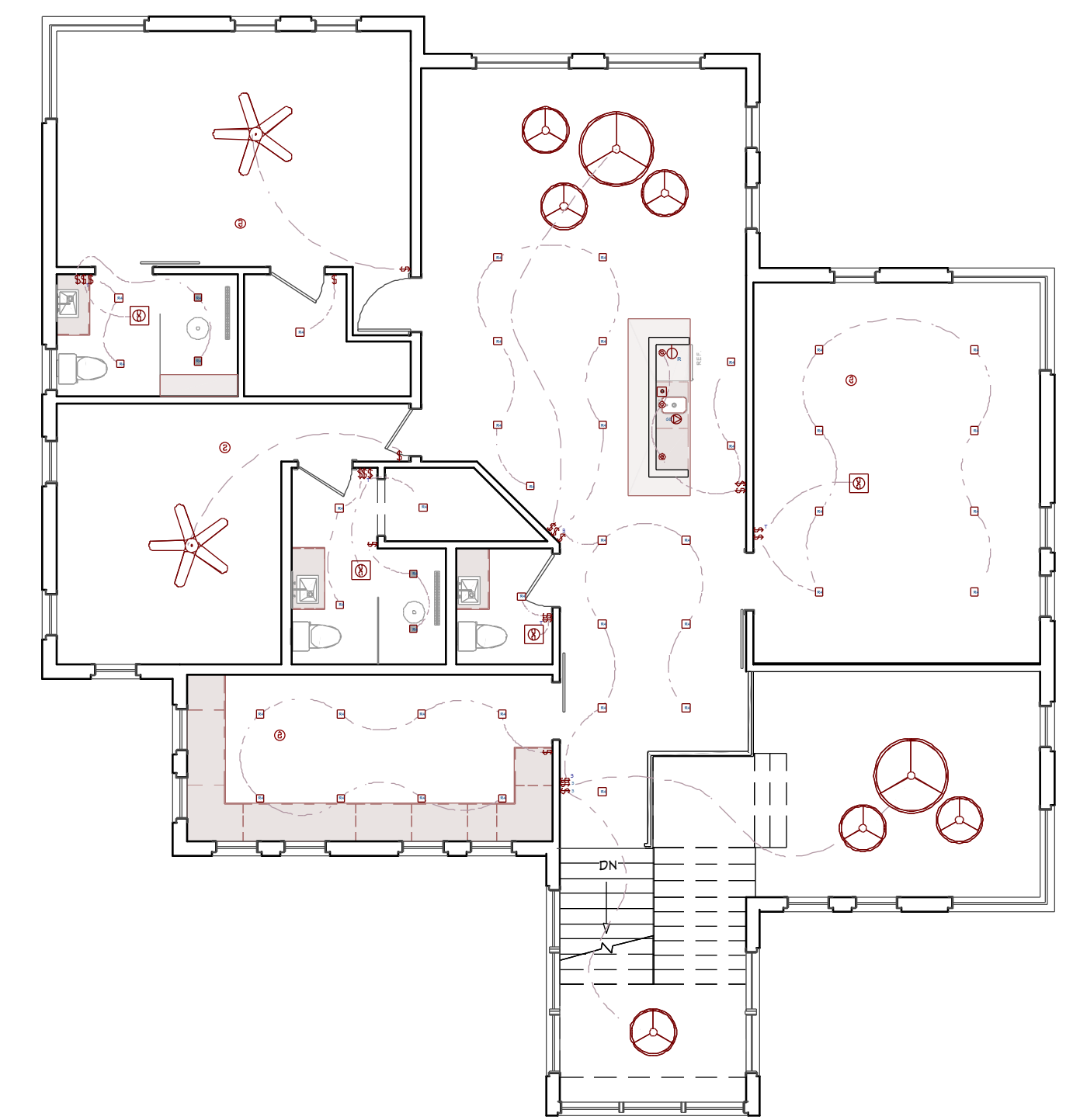
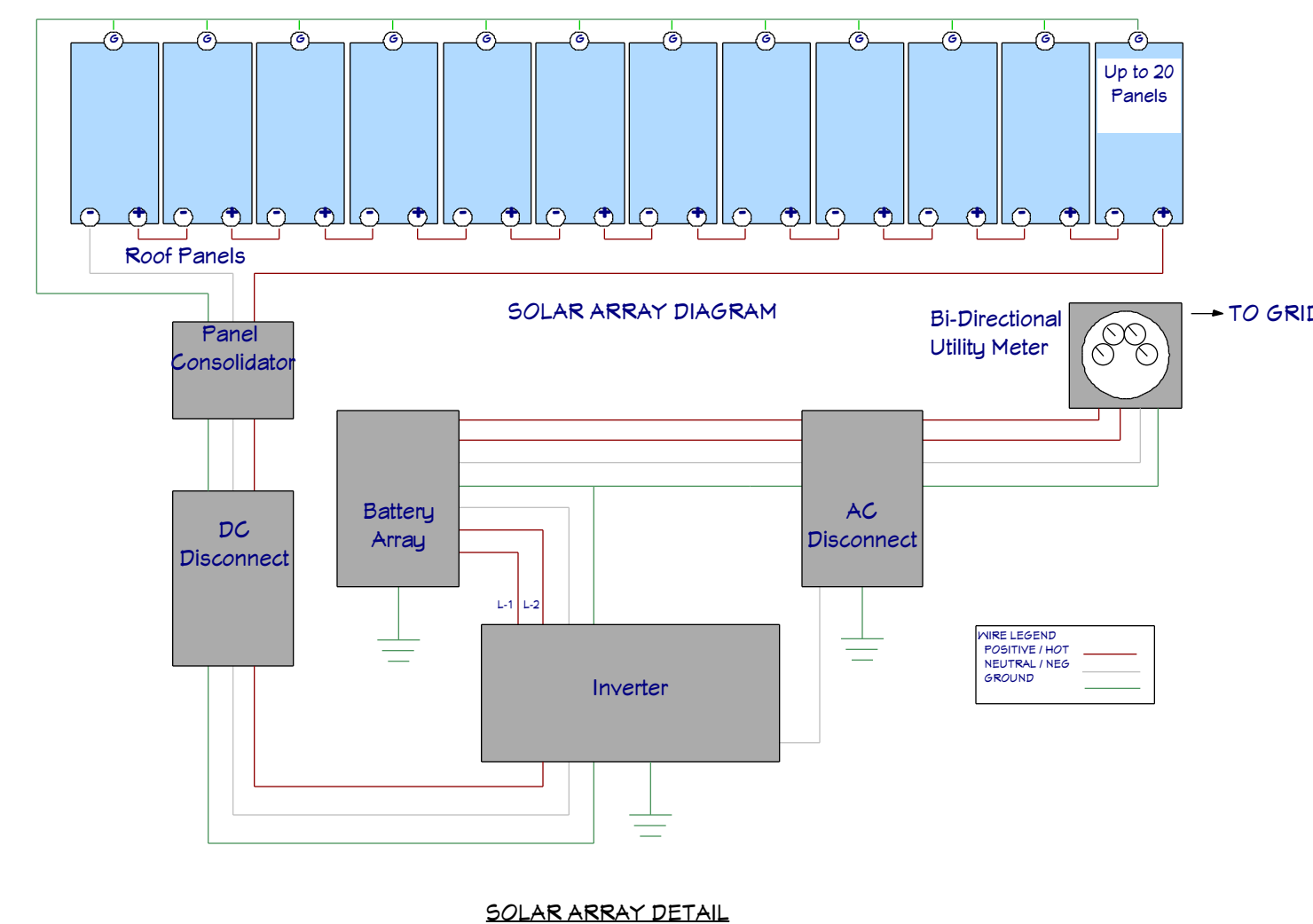


**1ST FLOOR ELECTRICAL PLAN**

1/4"=1'

**ELECTRICAL LEGEND**

- LIGHTING**
- RECESSED 4" & 6" CANS / WET RATED
  - PENDANTS / WALL LAMP / SCONE
  - UNDER CABINET LED PUCK / LED STRIP / CEILING LED
  - FAN / FAN LIGHT. 200 CFM MIN.
  - CEILING FAN W/ LIGHT
- SWITCHES / OUTLETS**
- SWITCH / 3-WAY / 4-WAY / TIMER
  - OUTLETS - LED LIGHT / USB 5V & 120V / 120V WALL & CEILING GFCI / WATER PROOF / 220V
  - APPLIANCE SPECIFIC: REFRIGERATOR / MICROWAVE / DISH WASHER / DISPOSAL
  - COOK HOOD / WASHER / DRYER / WALL OVEN
- OTHER MEP**
- CATS / CAT5 & COAX R66QS / CENTRAL VAC / HOME SECURITY PANEL
  - SMOKE DETECTOR / THERMOSTAT / GAS CONNECTION / DOOR BELL
  - WALL CONTROLLED VOLUME SWITCH / IN-WALL OR CEILING MOUNTED SPEAKERS



**2ND FLOOR ELECTRICAL PLAN**

1/8"=1'

SHEET NUMBER

**18**

SCALE @ 24" X 36"

DATE:

DRAWN BY:

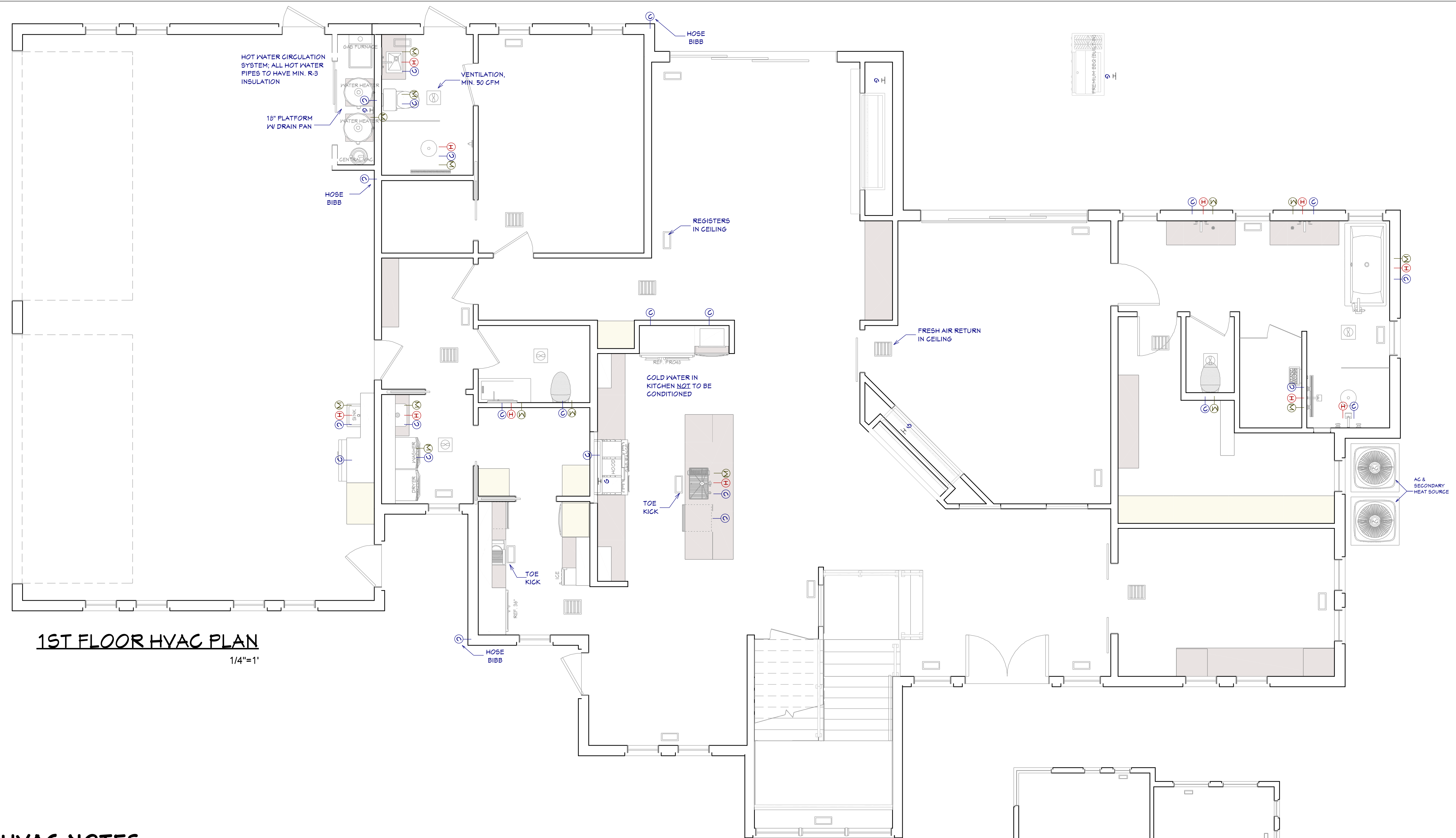
**ELECTRICAL PLAN**

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 Scottsdale, AZ 85262

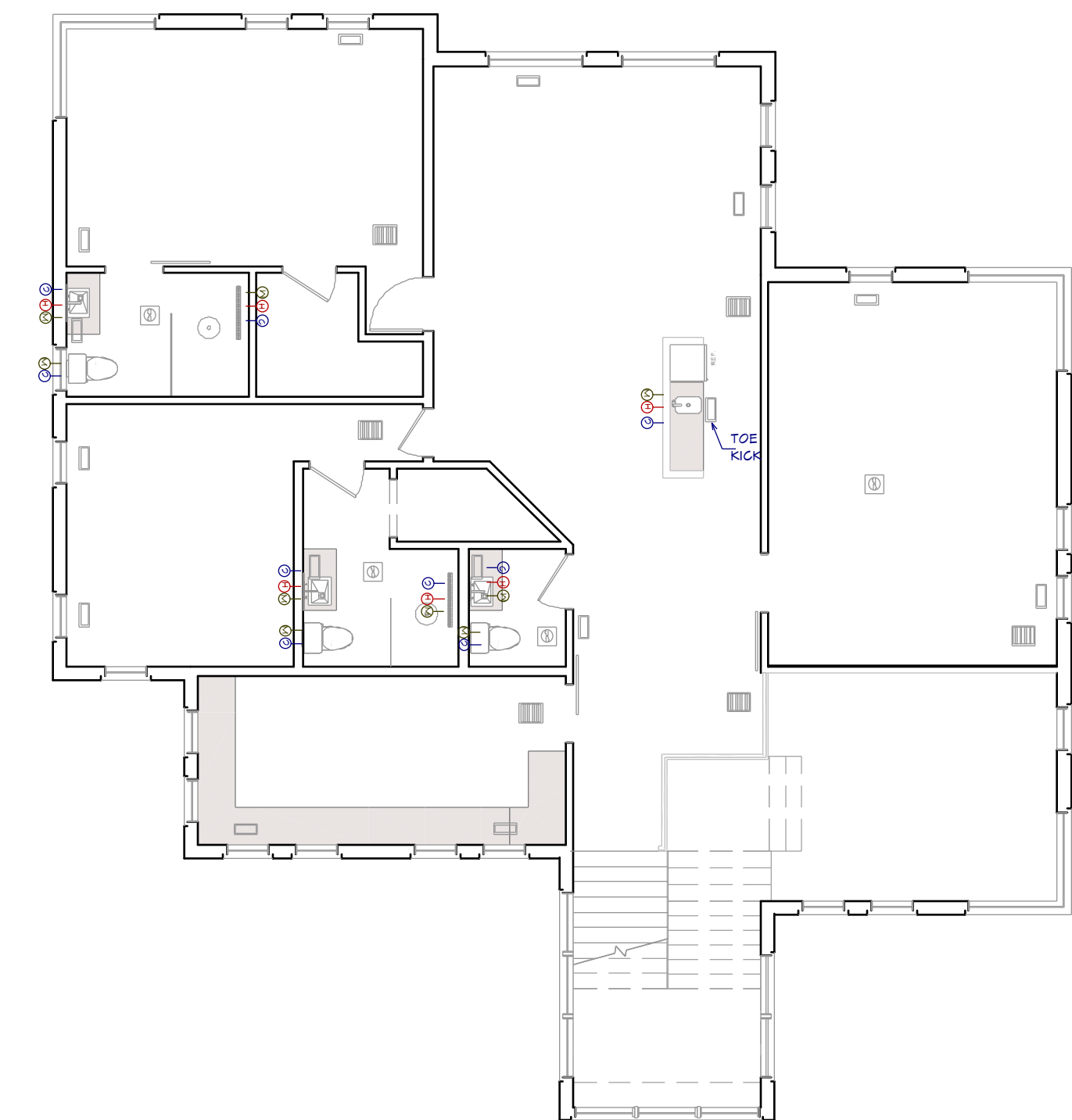
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 208.292.3400  
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**1ST FLOOR HVAC PLAN**  
1/4"=1'



**2ND FLOOR HVAC PLAN**  
1/8"=1'

**GENERAL PLUMBING & HVAC NOTES:**

1. HVAC SHALL HAVE TWO ZONES, ONE FOR EACH FLOOR.
2. INSULATE HEATING TRUNK AND BRANCH SUPPLY DUCTS IN UNFINISHED AREAS, CRAWL SPACES, ATTICS GARAGES, ETC.
3. ALL DUCTING SHALL BE THRU FLOOR TRUSSES / JOISTS.
4. ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS SHALL HAVE CLEAR GROSS VENTILATION AREA TO THE OUTSIDE VENTS. 1/150 OF SPACE VENTILATED FOR GABLE VENTS. 1/3000 OF SPACE VENTILATED FOR BOTH GABLE AND EAVE VENTS.
5. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER VENT DRYER VENT, MAX. LENGTH OF DUCT 14' WITH TWO 90 DEGREE ANGLES.
6. PROVIDE 30" CLEARANCE FROM RANGE TOP TO COMBUSTIBLE MATERIALS. FOR EXCEPTIONS, SEE INT. MECHANICAL CODE. SIDE CLEARANCE SHALL BE AS SPECIFIED BY PERMANENT MARKING ON THE UNIT. - IRC M1401.1.
7. WATER CLOSETS TO HAVE A FLOW RATE OF 1.6 GALLONS OR LESS PER FLUSH -IRC P2903.2.
8. SHOWER HEADS TO HAVE FLOW RATE OF 2.5 GALLONS PER MINUTE OR LESS. - IRC P2903.2.
9. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE.
10. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 84" ABOVE SHOWER DRAINS.
11. WATER SOFTENER UNIT, SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE. WATER TO REFRIGERATOR, KITCHEN AND BATH SINKS SHALL NOT HAVE CONDITION WATER.
12. EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE.
13. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
14. INSULATE WASTE LINES FOR SOUND CONTROL.
15. INSTALL CENTRAL VACUUM SYSTEM & PIPING, CONFIRM BRAND WITH HOMEOWNER.



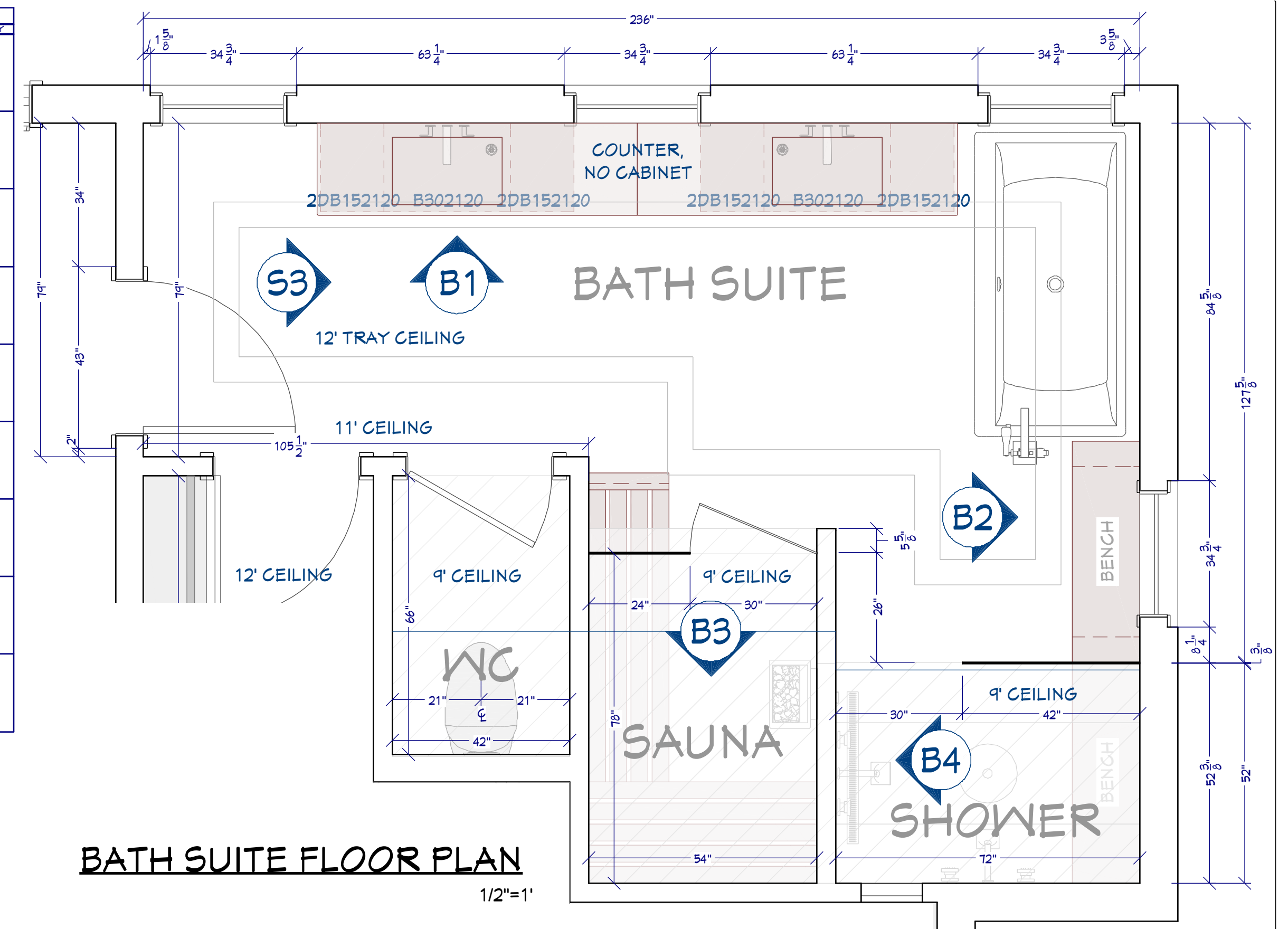


**BATH SUITE RENDER**  
FOR ILLUSTRATION ONLY NO SCALE



**VANITY RENDER**  
FOR ILLUSTRATION ONLY

QUANTITY	DESCRIPTION	UNIT
1	K-1121A BATHROOM SINK GRID DRAIN WITH OVERFLOW 2	
1	FLOOR MOUNT TUB FILLER TRIM	
1	K-13611 CONTEMPORARY ROUND RAINHEAD	
2	SHOWERHEAD	
1	STRIP DRAIN	
4	SURFACE MOUNT BODY SPRAY	
1	K-5402 VEIL INTELLIGENT WALL-HUNG TOILET	
1	K-6361 STARGAZE FREESTANDING BATH	
1	SAUNA HEATER	

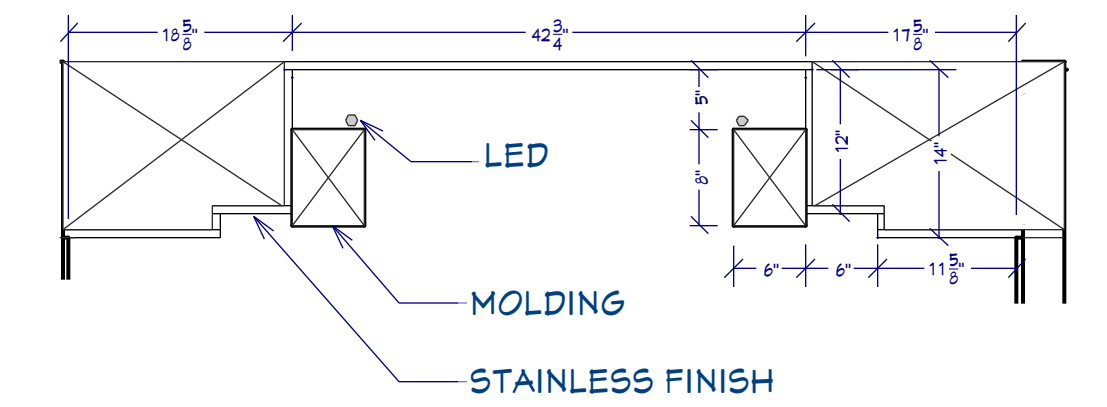


**BATH SUITE FLOOR PLAN**  
1/2"=1'

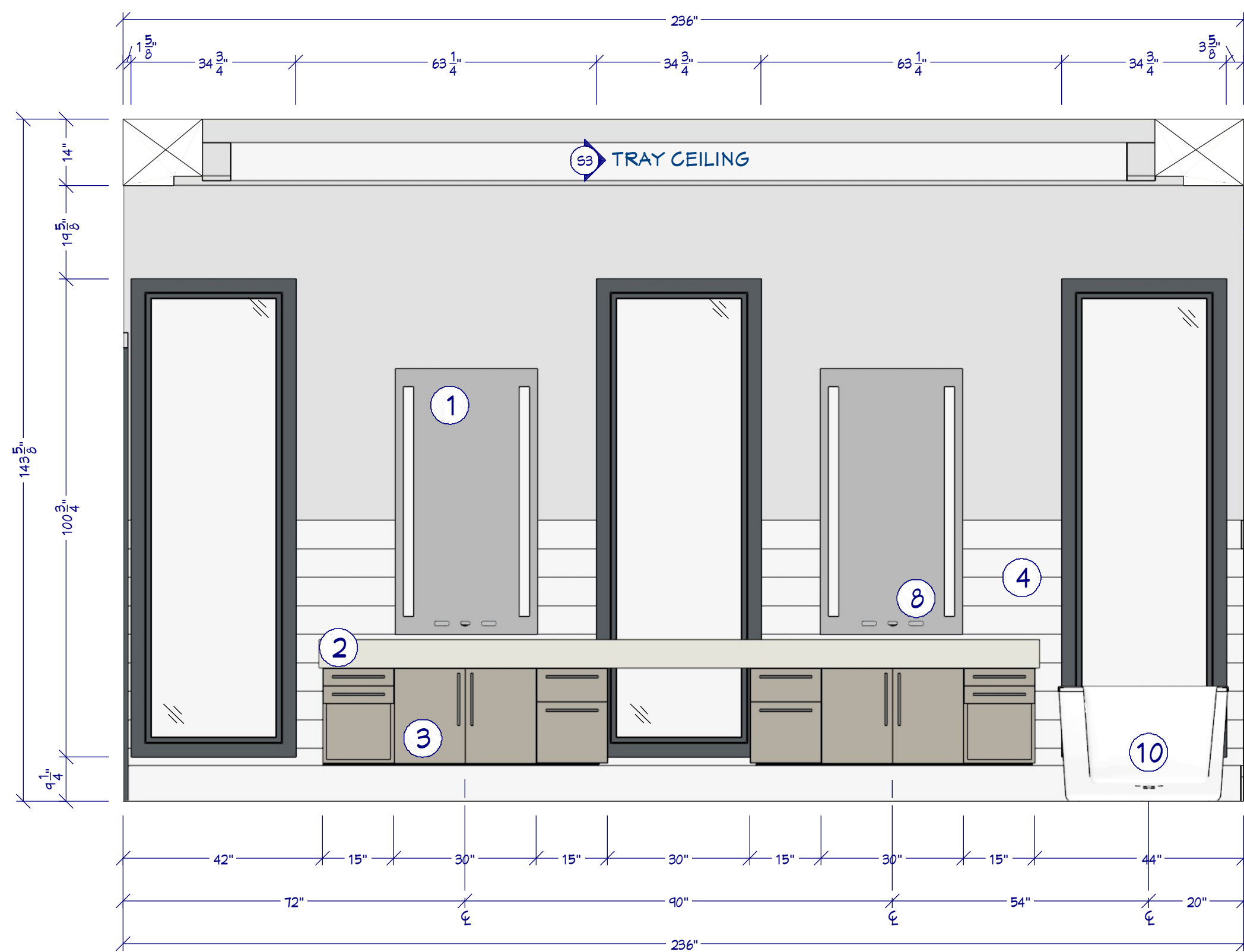


**BATH NOTES**

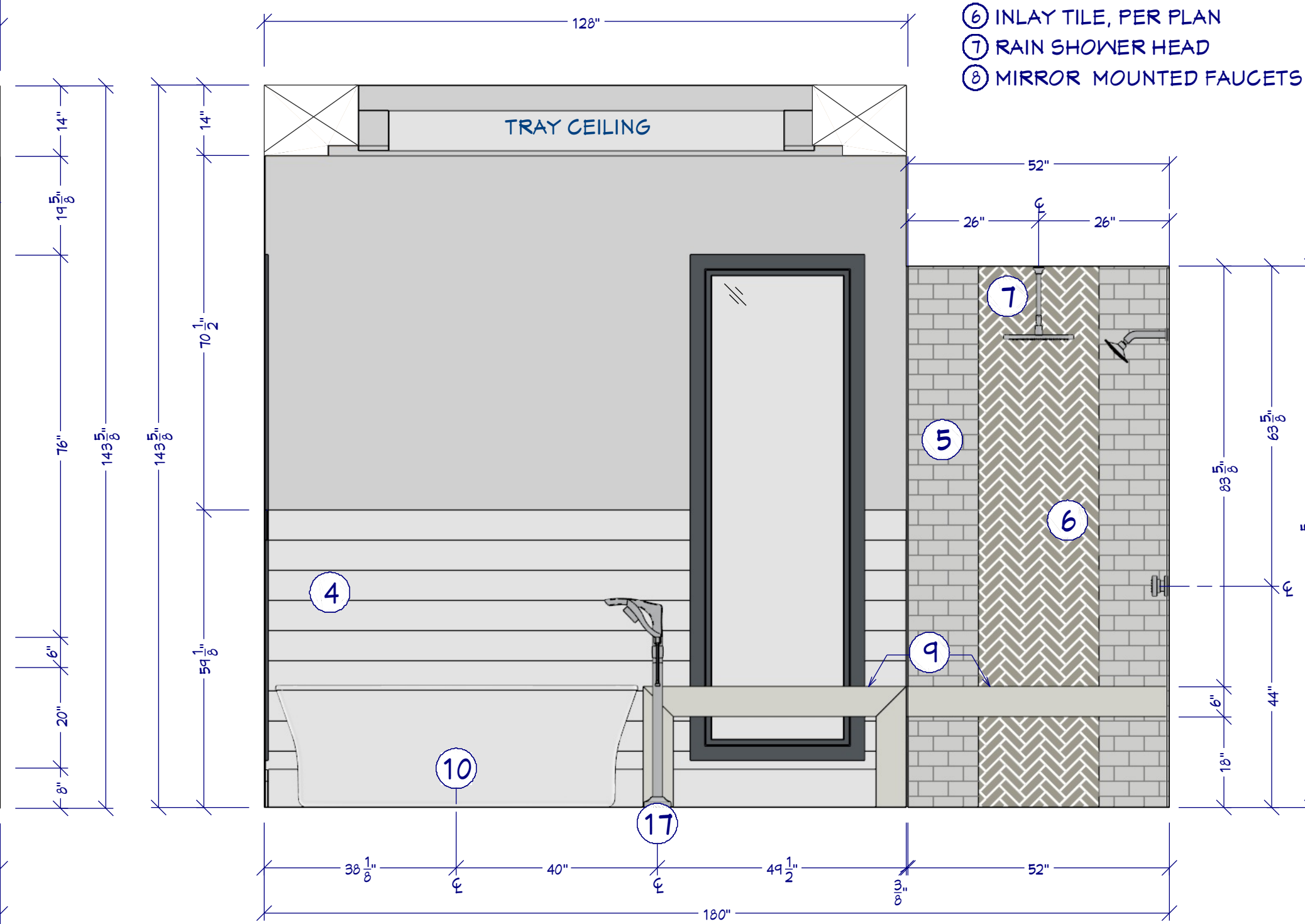
- ① LED MIRROR
- ② INTEGRATED SINK
- ③ CUSTOM VANITY, FLOATING
- ④ SHIPLAP PANEL
- ⑤ TILE, PER PLAN. USE GREENCO
- ⑥ INLAY TILE, PER PLAN
- ⑦ RAIN SHOWER HEAD
- ⑧ MIRROR MOUNTED FAUCETS
- ⑨ FABRICATED SHOWER BENCH
- ⑩ FREE STANDING TUB
- ⑪ NICHE W/ 2 SHELVES
- ⑫ SAUNA HEATING UNIT
- ⑬ REDWOOD SAUNA BENCH
- ⑭ REDWOOD SAUNA PANEL
- ⑮ WALL HUNG TOILET
- ⑯ BODY SPRAY
- ⑰ TUB FILLER



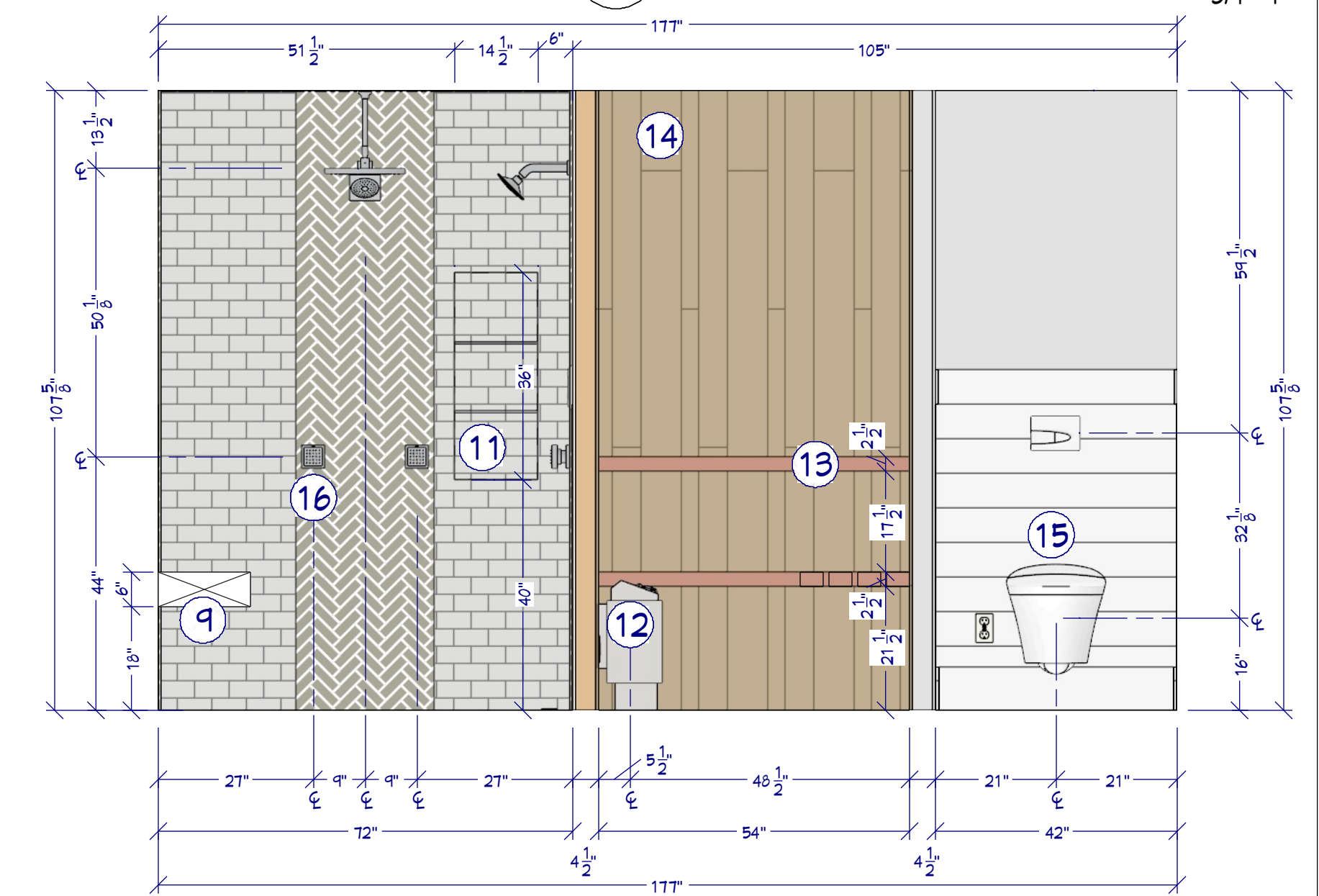
**TRAY CEILING DETAIL**  
3/4"=1'



**B1 BATH SUITE MAIN WALL**  
1/2"=1'



**B2 SHOWER/TUB ELEVATION**  
1/2"=1'



**B3 SHOWER/SAUNA ELEVATION**  
1/2"=1'





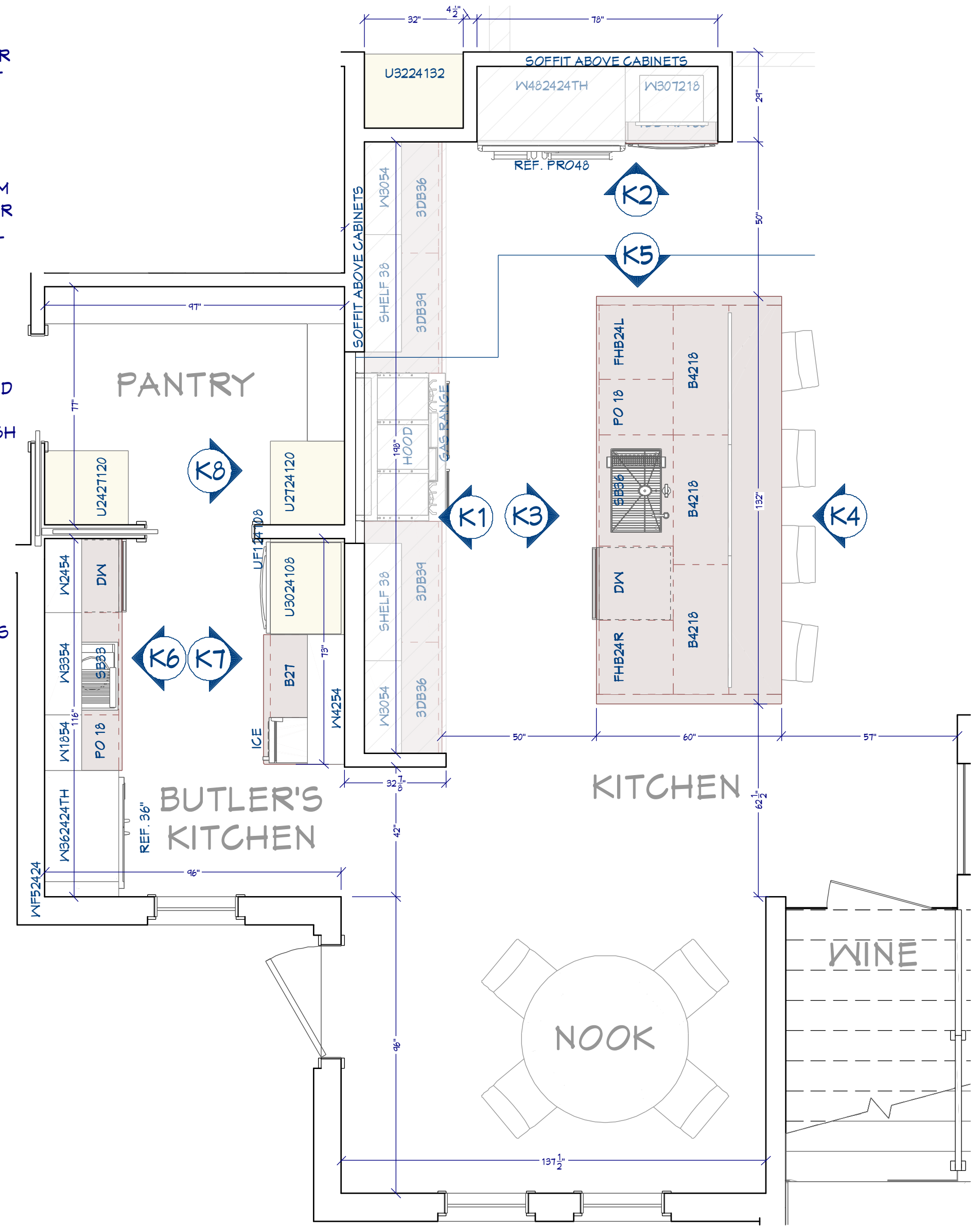
Chief Architect

**KITCHEN & CABINET NOTES:**

- 1 ALL CABINETS FRAMELESS, MAPLE OR ALDER
- 2 CONFIRM FINISH & STAIN/PAIN WITH CLIENT PRIOR TO ORDERING
- 3 CONFIRM DOOR & DRAWER STYLES WITH CLIENT PRIOR TO ORDERING
- 4 INSTALL HARDWARE ON SITE
- 5 INSTALL CROWN MOLDING ON SITE; CONFIRM PROFILE AND DIMENSION WITH HOME OWNER
- 6 CABINET SUPPLIER RESPONSIBLE FOR FINAL MEASUREMENTS & CABINET OPENINGS FOR APPLIANCES SPECIFICATIONS
- 7 ALL APPLIANCES TO BE ON DEDICATED CIRCUITS, UNO. REFER TO APPLIANCE SPECIFICATIONS FOR AMP/VOLTAGE REQUIREMENTS
- 8 USE MIN 6" DUCT FOR HOOD. CONFIRM HOOD IS 600 CFM MIN.
- 9 CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH CLIENT PRIOR TO ORDERING
- 10 ALL DRAWERS TO BE TONGUE & GROOVE; GLIDES TO BE SOFT CLOSE
- 11 LED STRIP LIGHTS FOR WALL CABINETS AND UNDER ISLAND
- 12 UNDERCOUNTER GFCI ELECTRICAL PLUGS
- 13 COUNTER FABRICATION: CONFIRM ALL FIXTURE MEASUREMENTS AND CENTERLINES
- 14 TEXTURED GLASS PER PLAN

**CABINET SCHEDULE**

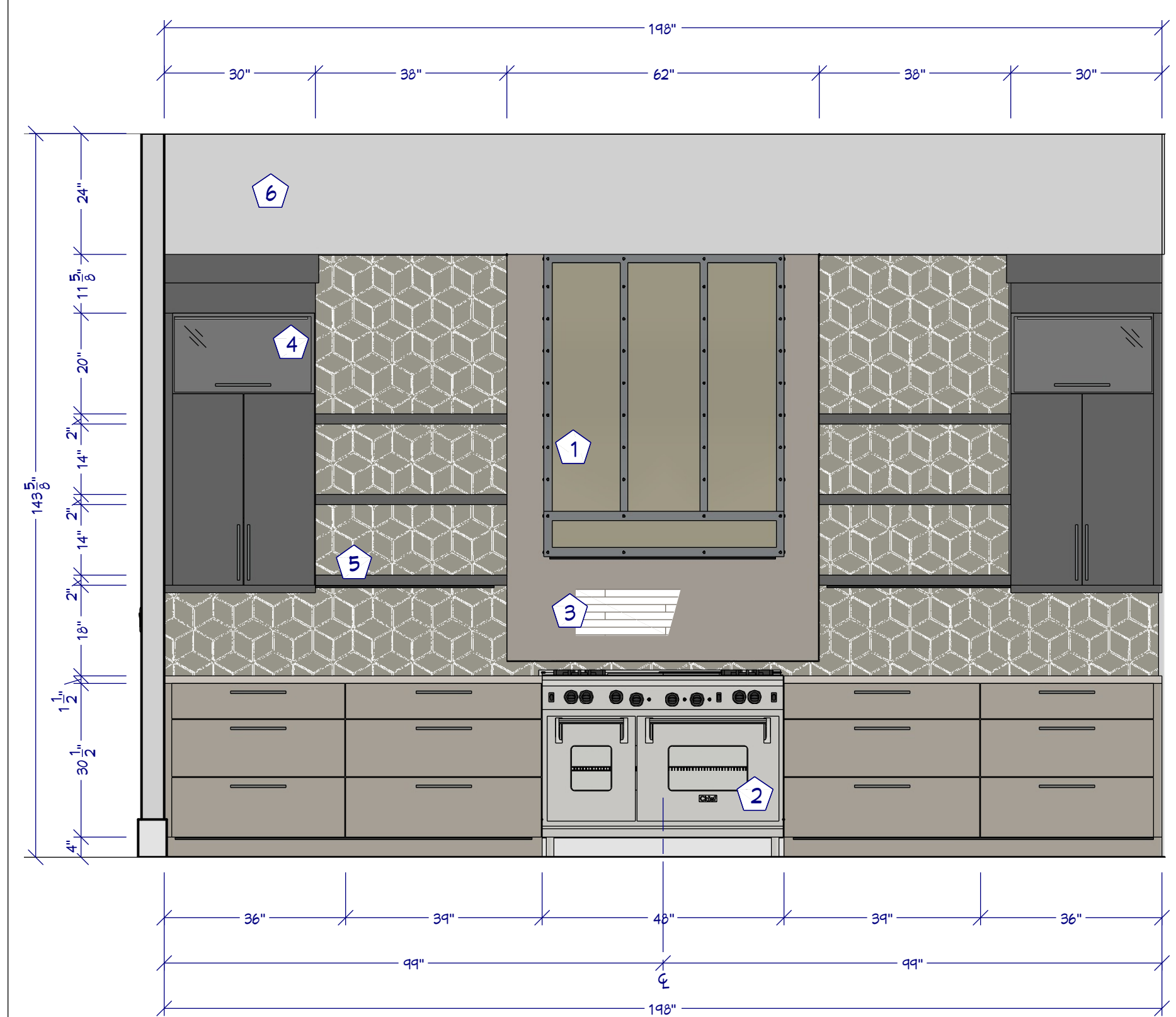
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001	SLAB (3)	36"	34"	36"	BASE CABINET	
002	SLAB (3)	36"	34"	36"	BASE CABINET	
003	SLAB (3)	42"	34 1/2"	36"	BASE CABINET	
004	SLAB (3)	24"	34 1/2"	36"	BASE CABINET	
005	SLAB (3)	24"	34 1/2"	36"	BASE CABINET	
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008	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
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087	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
088	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
089	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
090	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
091	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
092	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
093	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
094	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
095	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
096	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
097	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
098	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
099	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	
100	SLAB (3)	36"	34 1/2"	36"	BASE CABINET	



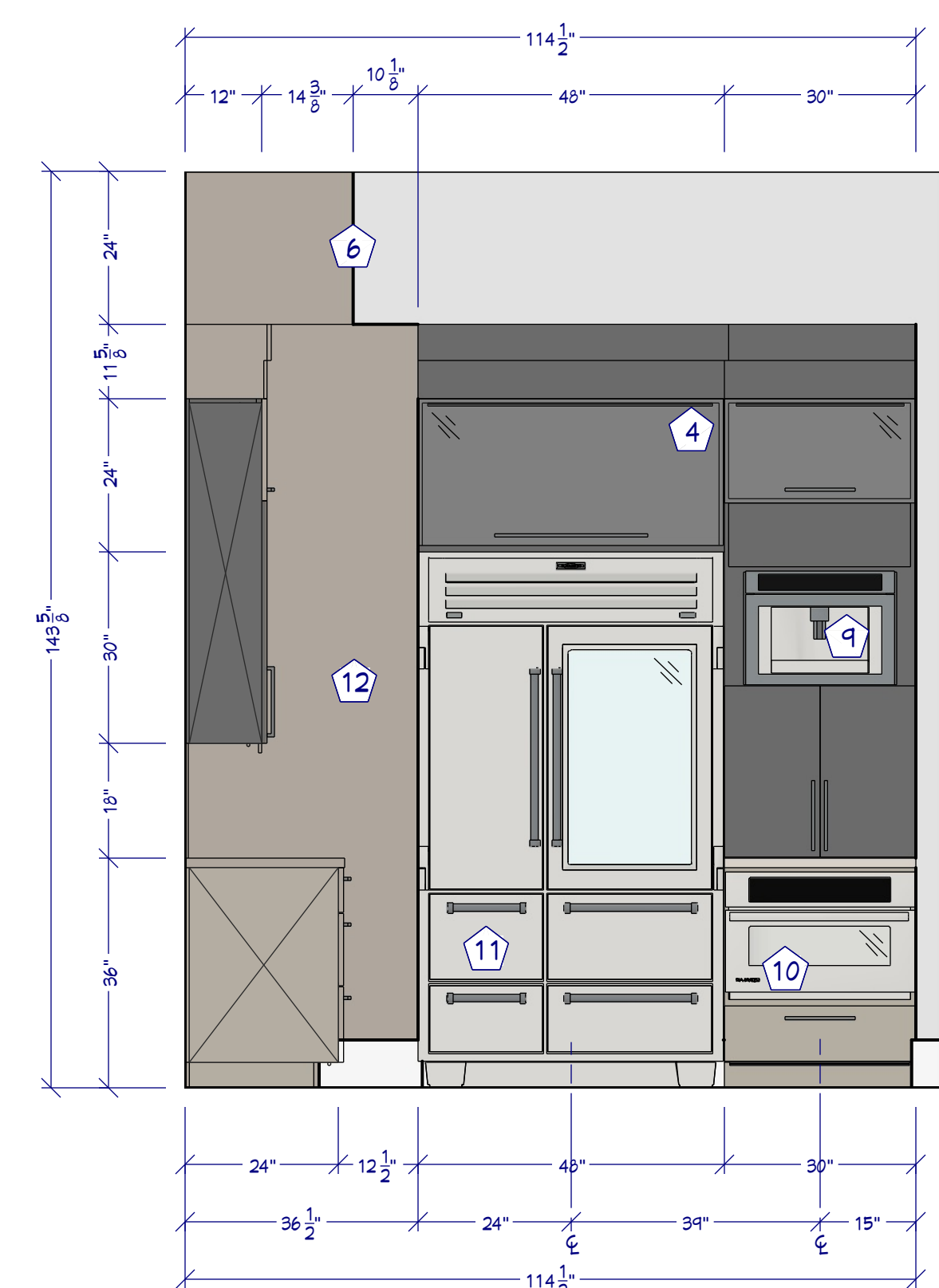
**KITCHEN FLOOR PLAN**  
3/8"=1'



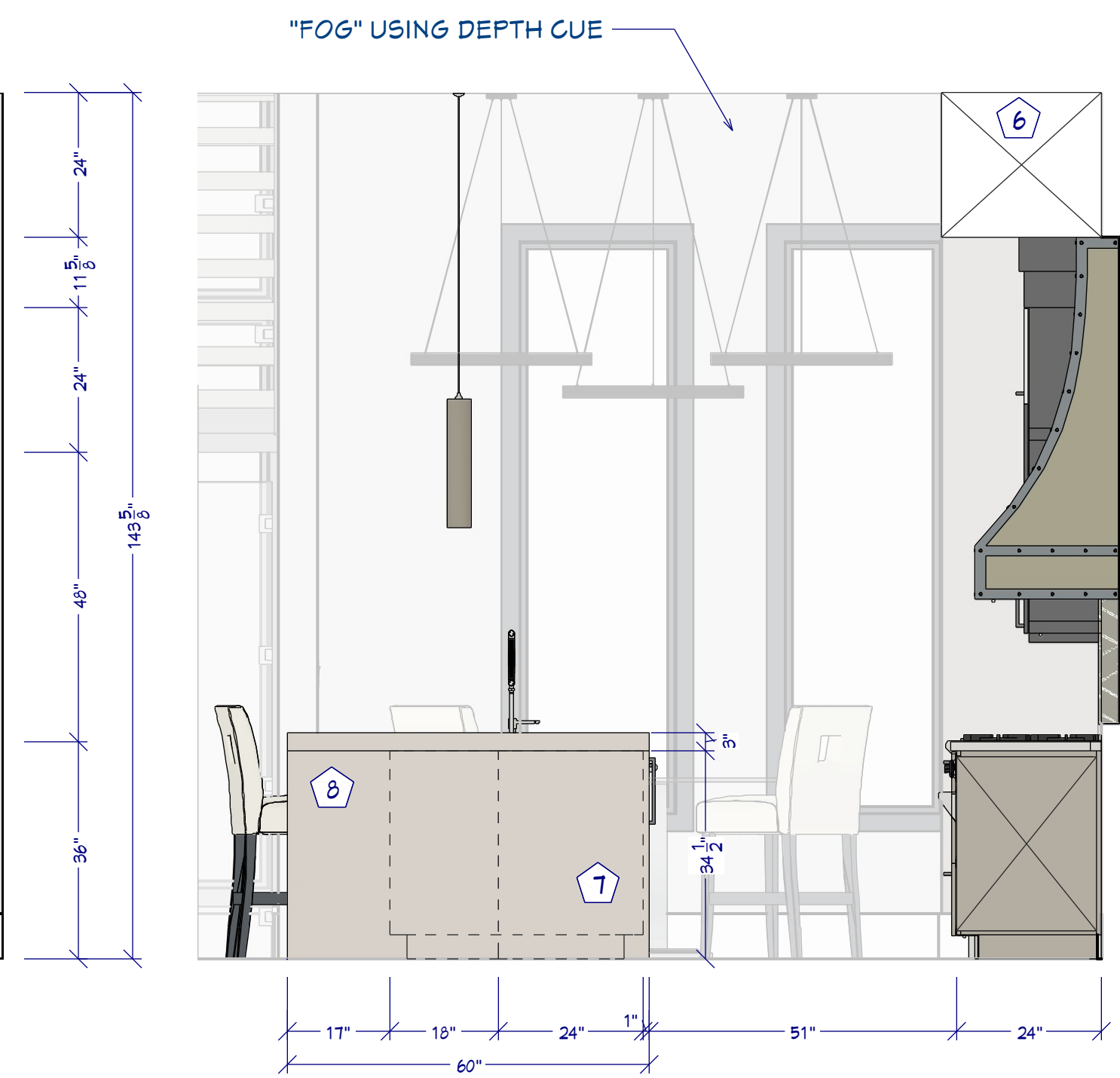
- KITCHEN KEY NOTES**
- 1 CUSTOM COOK HOOD
  - 2 GAS COOK RANGE / ELECTRIC OVEN
  - 3 NICHE / INSET BACKSPLASH
  - 4 RAIN WATER GLASS
  - 5 SHELF W/ LED STRIP LIGHT
  - 6 SOFFIT
  - 7 HIDDEN LINE CABINET BOXES
  - 8 WATERFALL COUNTER
  - 9 BUILT-IN COFFEE STATION
  - 10 MICROWAVE DRAWER
  - 11 SUBZERO PRO48 REF.
  - 12 INTERIOR 4" WALL
  - 13 WASTE PULLOUT
  - 14 WATERFALL
  - 15 LED STRIP LIGHT



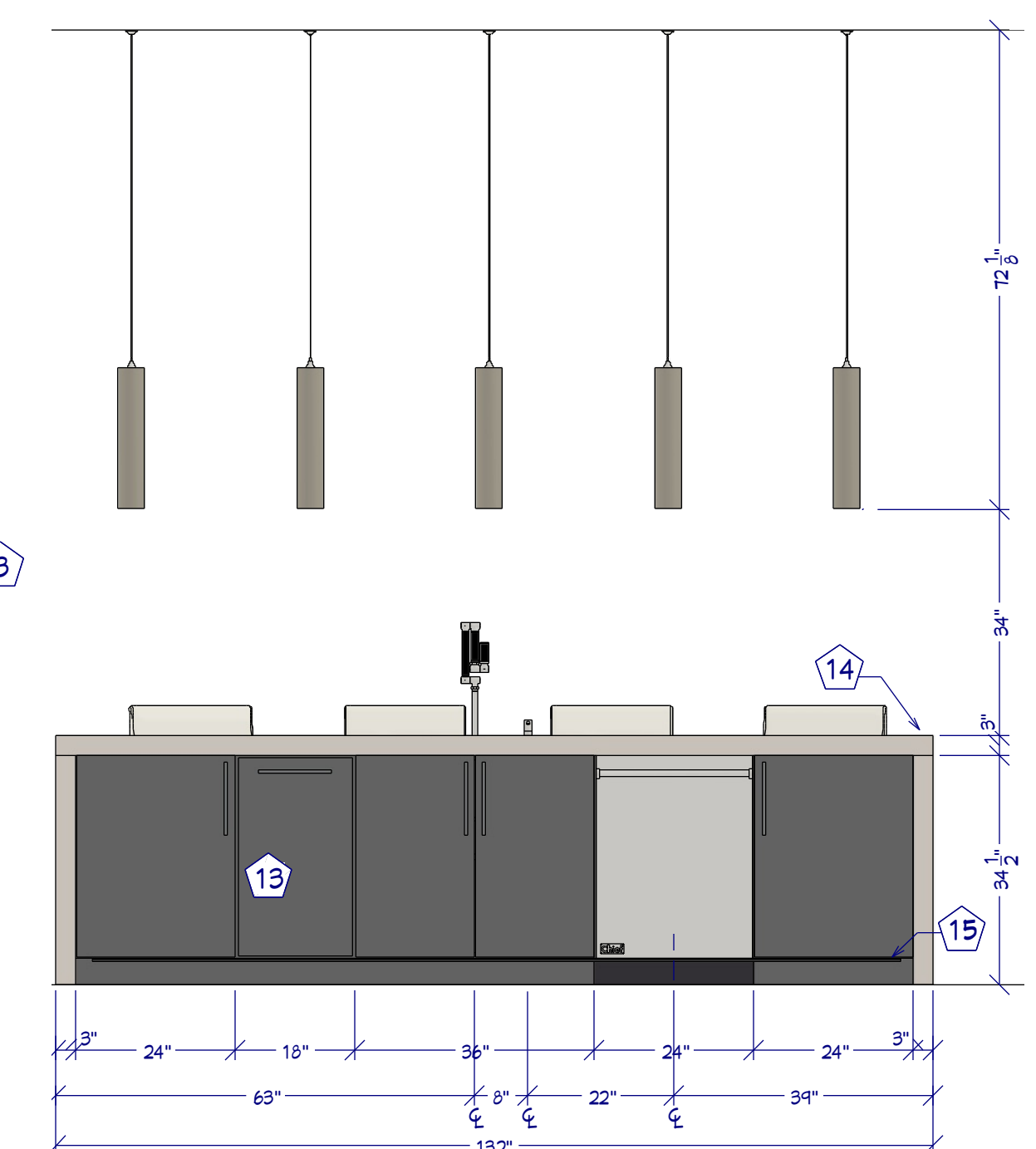
**K1 MAIN WALL ELEVATION**  
1/2"=1'



**K2 SIDE WALL ELEVATION**  
1/2"=1'



**K4 SIDE ISLAND ELEVATION**  
1/2"=1'



**K6 FRONT ISLAND ELEVATION**  
1/2"=1'