



RENDERING
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THE NASHVILLE MODERN FARMER PLAN



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GENERAL NOTES:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

OWNER: _____

PROJECT: NASHVILLE
ADDRESS: 112715 TUCKMAN LN.
LEGAL: LOT 15, BLOCK 11

FIRE DISTRICT: CITY OF NASHVILLE
WATER/SEWER: METRO WATER SERVICES

STORM WATER PERMIT: _____
BUILDING PERMIT: _____

DESIGNER: _____
DESIGN CONSULTANT: _____
BUILDER: _____
SITE DISTURBANCE: _____
ENGINEERING: _____

| | |
|------------------------------|----|
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PROJECT STATISTICS:

LOT SIZE: 30,571 / .7 ACRE
ANTICIPATED DISTURBED AREA: 3,115 SF (10.2%)
BLDG. ENVELOPE: 3,408 SF
ROOF: 5,984 SF
FRONT/REAR HEIGHT: 34.1' / 34.1'
LIVABLE SF: 3,813
MAIN: 2,492
SECOND: 1,321
FOUNDATION: 1,784
GARAGE: 998
DECKS/WALKS: 1,383

SITE PLAN NOTES

SOIL: *2,000 PSF ALLOWABLE (ASSUMED) TO BE AT TIME OF EXCAVATION. SHALLOW AND MODERATELY DEEP, WELL-DRAINED SOIL FORMED IN MATERIAL WEATHERED FORM BASALT THAT HAS A SMALL AMOUNT OF LOESS IN THE UPPER PART OF THE PROFILE. THE PERMEABILITY IS ESTIMATED TO BE GOOD.

FROST DEPTH: *2'-0"
SEISMIC ZONE: C
WIND: 76 MPH (90 MPH 3 SEC GUST)
EXPOSURE C

SITE SURVEY TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM

MARKED TREES SHALL BE REMOVED PRIOR TO SITE WORK.

CALL BEFORE YOU DIG: 800.428.4950

PROJECT NARRATIVE

THE PROPOSED SITE LOCATION IS 112715 TUCKMAN LN, NASHVILLE, TN. LOT 15, BLOCK 11, BELLE MEADE, DAVIDSON COUNTY. THE PROPOSED PROJECT INCLUDES A SINGLE-FAMILY RESIDENCE.

EROSION CONTROL NOTES:

1. INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
2. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.
3. ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
4. HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000# / ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURE'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER
5. STRIP SHALES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW SHALES.

GRADING NOTES:

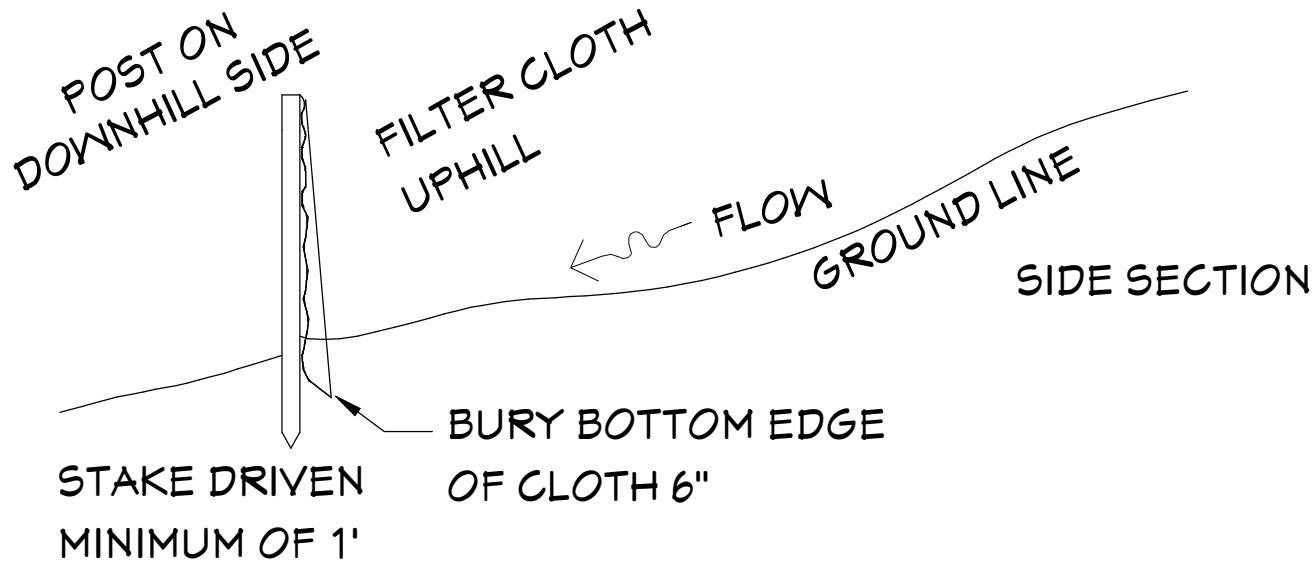
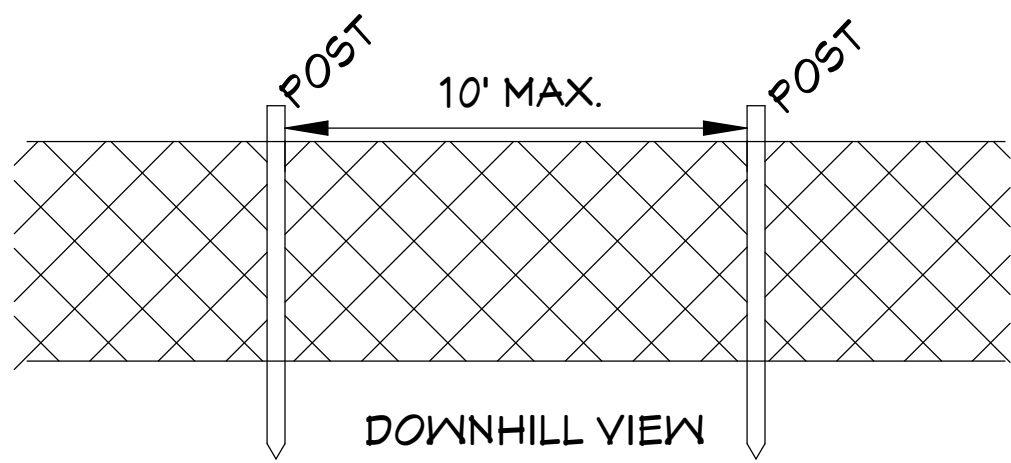
1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
4. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.
5. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
6. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

LANDSCAPE NOTES:

- 1 OWNER RESPONSIBLE FOR LANDSCAPING - SUCH AS LAWN, TREES, SHRUBS, ETC.
- 2 IRRIGATION SYSTEM SHALL BE STUBBED IN WITH VALVE BOX AND IRRIGATION MAIN LINES RUN UNDER CONCRETE. OWNER SHALL PROVIDE FINISH HEADS AND LINES.
- 3 OWNER SHALL PROVIDE TRAILS AND STEPPING STONES.
- 4 OWNER RESPONSIBLE FOR POOL, EQUIPMENT, AND SPORTS COURT.

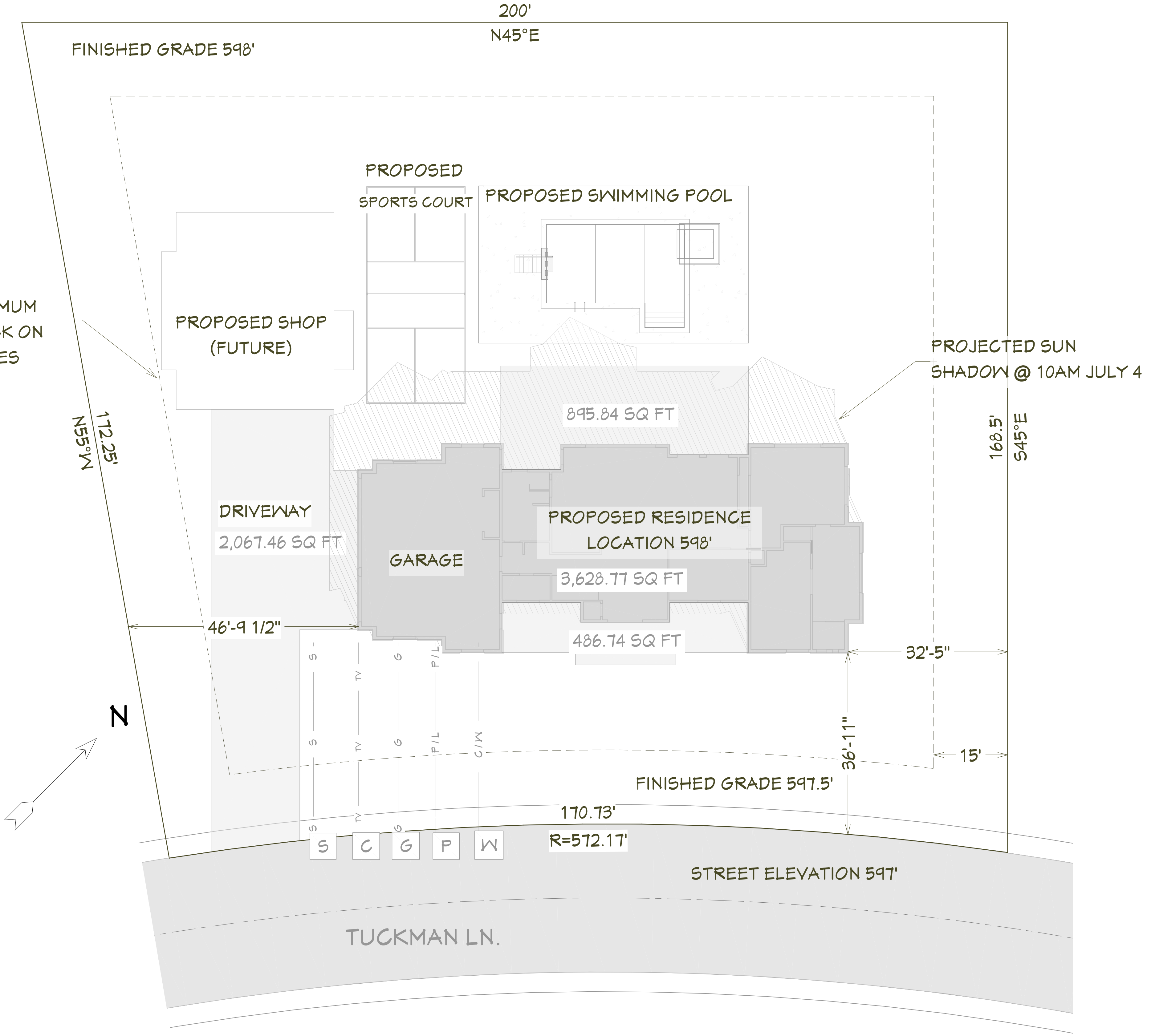
UTILITY LEGEND

| | | |
|---|-------|-----------|
| G | GAS | — G — |
| P | POWER | — P / L — |
| S | SEWER | — S — |
| W | WATER | — C / W — |
| C | CABLE | — TV — |



SILT FENCE DETAIL

NOT TO SCALE



SITE & DISTURBANCE PLAN

1"=12'

SHEET NUMBER
2

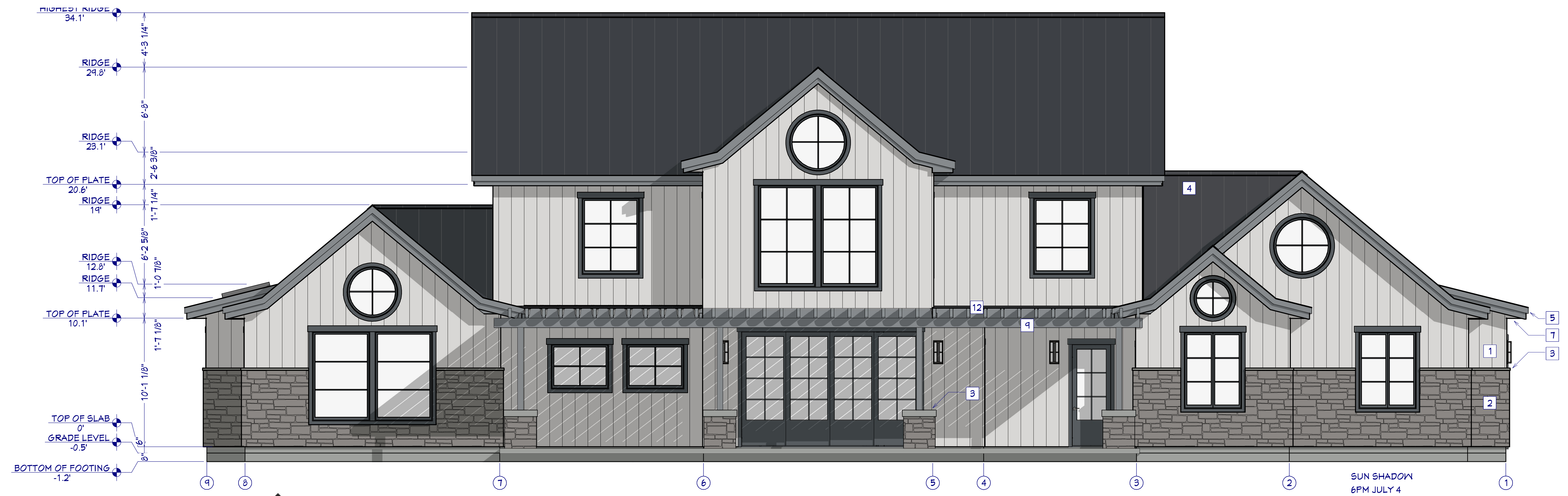
SCALE @ 24" X 36"
DATE:
DRAWN BY: S.H.

SITE & DISTURBANCE
PLAN

112715 Tuckman Ln.
Nashville, TN 37205
NASHVILLE



E1 FRONT ELEVATION
1/4"=1'



E2 REAR ELEVATION
1/4"=1'

| | |
|---|-------|
| SHEET NUMBER 3 | |
| SCALE @ 24" X 36" | DATE: |
| DRAWN BY: S.H. | |
| EXTERIOR ELEVATIONS | |
| 112715 Tuckman Ln. Nashville, TN 37205 NASHVILLE | |
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EXTERIOR KEY NOTES

- 1 BOARD & BATTEN FIBER CEMENT SIDING
- 2 MFG. STONE
- 3 STONE CAP
- 4 SEAMED METAL ROOFING
- 5 FASCIA 11.25"
SHADOW BOARD 5.5"
RAIN GUTTER AND DOWN SPOUT ALL
RELEVANT EDGES
- 6 VENT ALL SOFFITS
- 7 FLUSH EAVES
- 8 ROOF PITCH CHANGE
- 9 CEDAR GLULAM BEAM
- 10 CEDAR TRIM ON ALL WINDOWS
- 11 CEDAR VENT
- 12 ALUMINUM WRAPPED TRELLIS
- 13 GARAGE DOOR W/ GLASS PANELS
- 14 SKYLIGHTS 22.5" X 42"
- 15 FLUSH EAVES, VENTED

BUILDING
PERFORMANCE:

1. HEAT LOSS CALCULATIONS SHALL COMPLY WITH RESCHECK AND/OR REQUIREMENTS OF LOCAL CODES.
2. PORCHES, DECKS, BALCONIES, FOUNDATION AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.
3. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.
4. IF THERE IS THERE IS A CRAWLSPACE, VENTING TO MEET LOCAL CODE REQUIREMENTS INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE, UNO.
5. INSULATE FOUNDATION SLAB PER PLAN.
6. MINIMUM INSULATION:
ATTIC/CEILING R-50
WALLS R-21
FLOORS R-38



Project: Nashville
Energy Code: 2015 IECC
Location: Nashville, Tennessee
Construction Type: Single-family
Project Type: New Construction
Orientation: Bldg. faces 135 deg. from North
Conditioned Floor Area: 3,814 ft²
Glazing Area: 17%
Climate Zone: 4 (3729 HDD)



OVERVIEW RENDERING

FOR ILLUSTRATION ONLY NO SCALE

FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE ROUGH OPENING.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

WALL LEGEND

- ROOM DIVIDER
- GLASS WALL
- GLASS WALL INTERIOR-4 TILE
- SIDING-6-BOARD-BATTEN EXTERIOR-6-SHEATHING
- INTERIOR RAILING
- INTERIOR-4
- INTERIOR-6
- SIDING-6-BOARD-BATTEN
- SIDING-6-BOARD-BATTEN STONE-6
- 8" CONCRETE STEM WALL
- DECK/FENCE

SHEET NUMBER

5

SCALE @ 24" X 36"

DATE:

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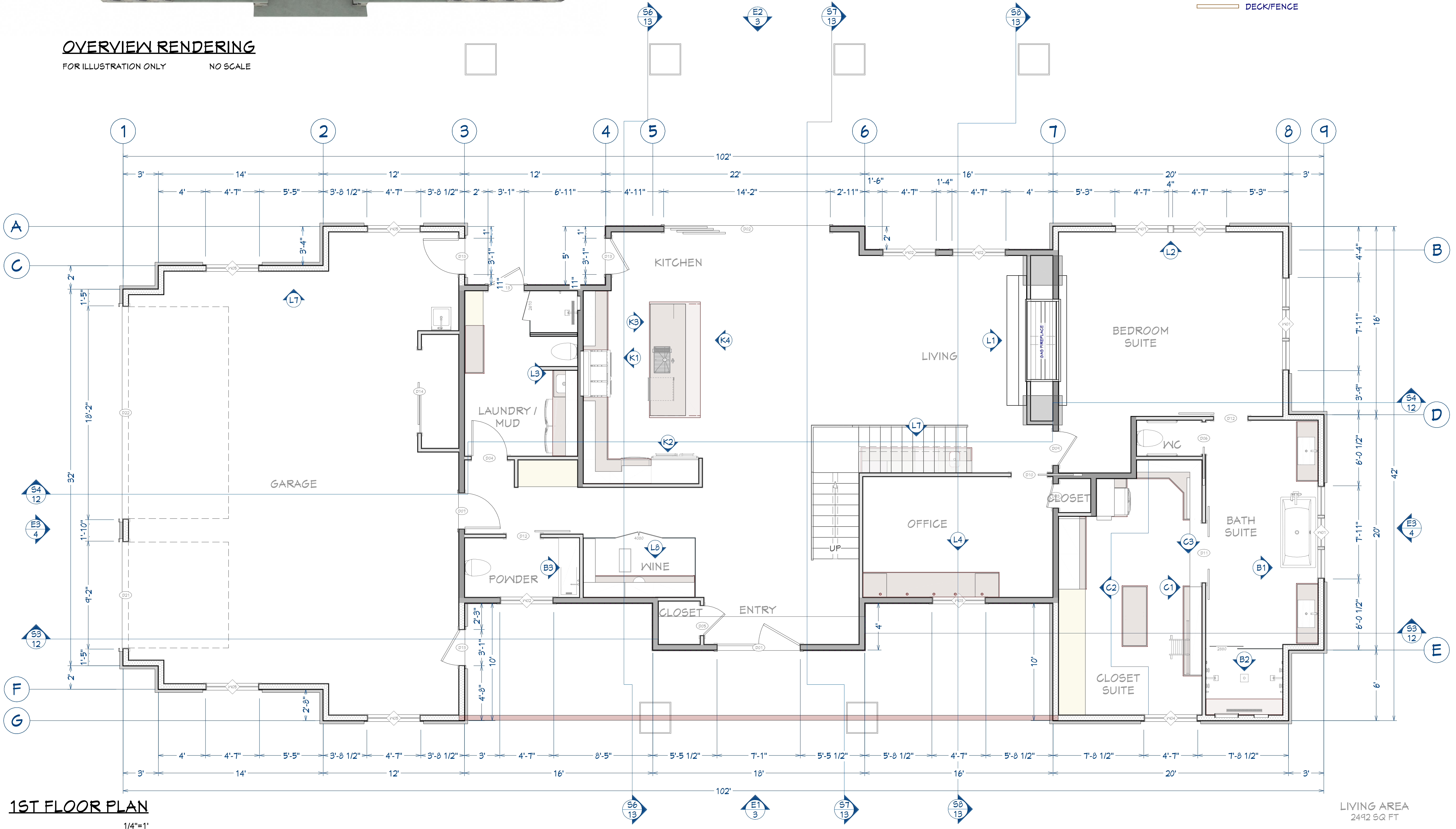
1ST FLOOR PLAN

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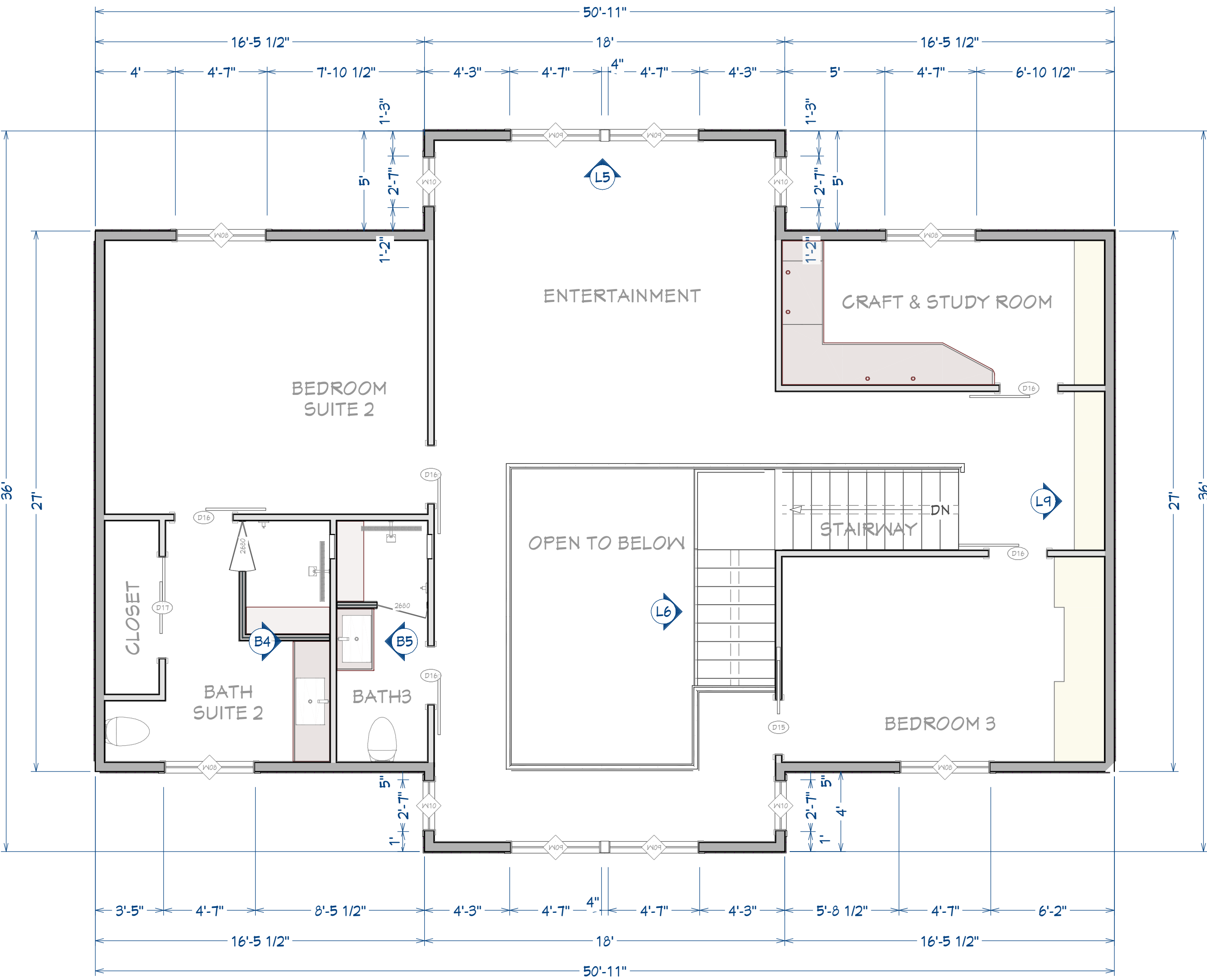
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1ST FLOOR PLAN

1/4"=1'

LIVING AREA
2492 SQ FT



2ND FLOOR PLAN

1/4"=1'

LIVING AREA
1321 SQ FT

WALL LEGEND

- ROOM DIVIDER
- GLASS WALL
- GLASS WALL INTERIOR-4 TILE
- SIDING-6-BOARD-BATTEN EXTERIOR-6-SHEATHING
- INTERIOR RAILING
- INTERIOR-4
- INTERIOR-6
- SIDING-6-BOARD-BATTEN
- SIDING-6-BOARD-BATTEN STONE-6
- 8" CONCRETE STEM WALL
- DECK/FENCE

OVERVIEW RENDERING

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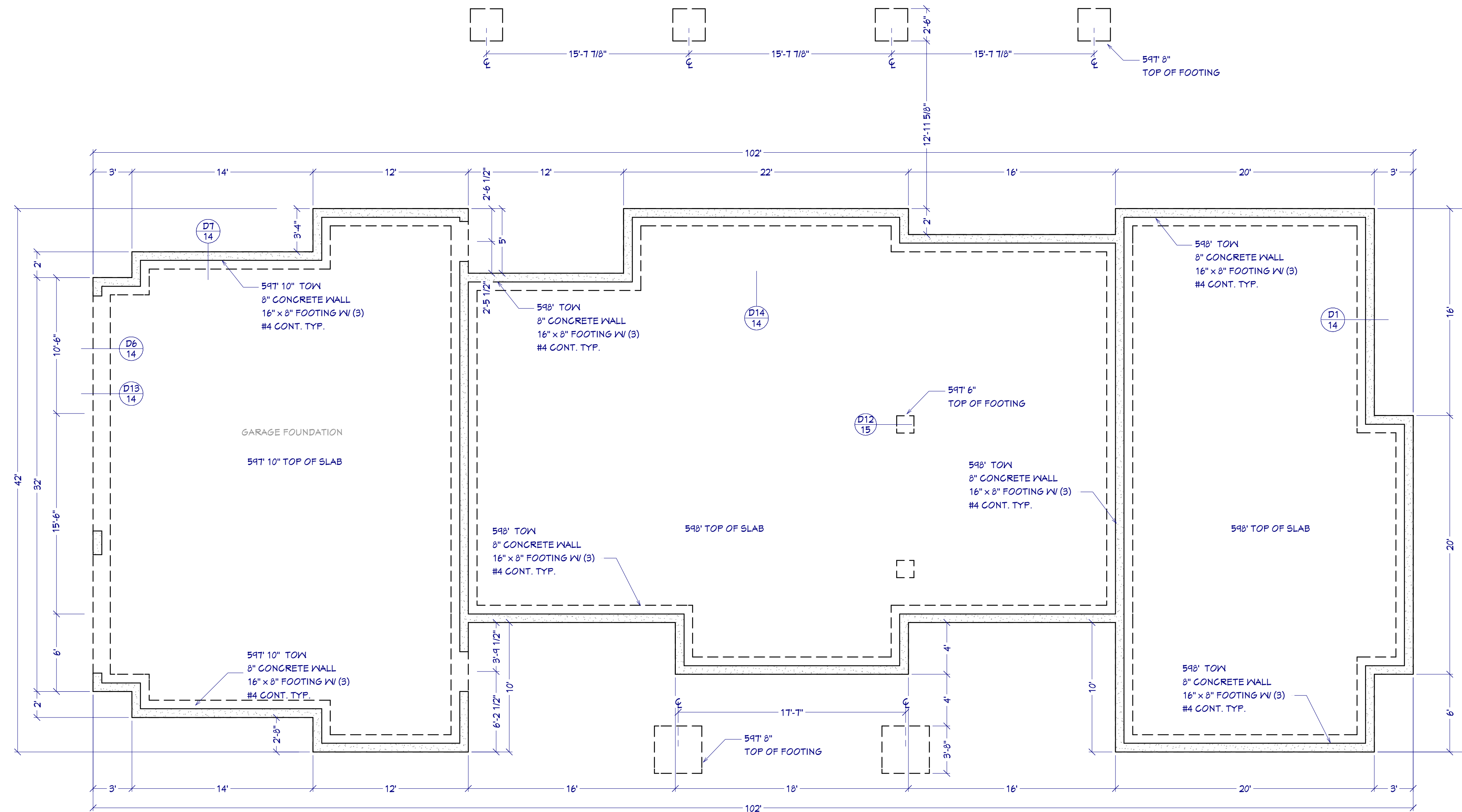
2ND FLOOR PLAN

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SCALE @ 24" X 36"
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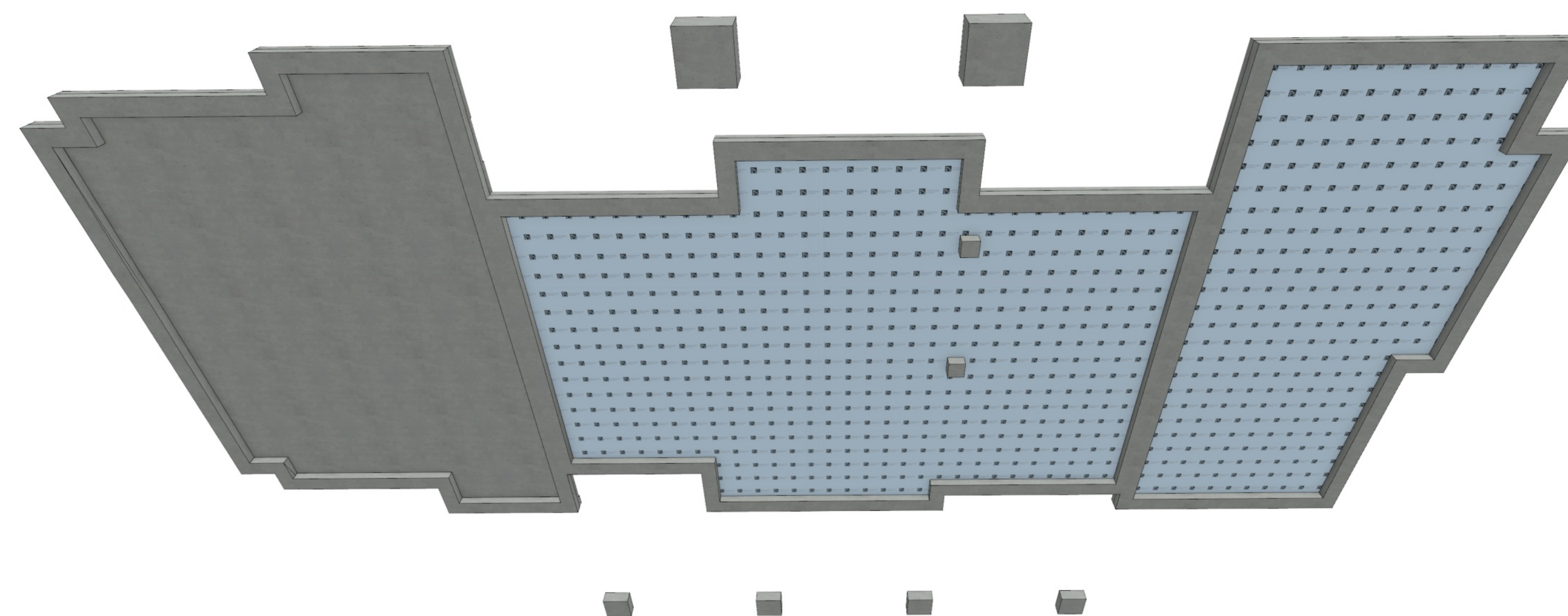


FOUNDATION SLAB PLAN

3/16"=1'

FOUNDATION SLAB NOTES

1. ALL ANCHOR BOLTS TO BE 5/8" DIA X 10 @ 32" O/C UNO. SEE SHEAR PLANS FOR HOLD DOWN DETAILS
2. ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60
3. ALL REINFORCING STEEL TO OVERLAP A MINIMUM OF 24" FOR SPLICES FOR #4 BARS & 36" FOR #5 BARS
4. PROVIDE CORNER BARS TO MATCH CONTINUOUS STEEL
5. MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,000 PSI (DESIGNED AS 2,500 PSI) AT 28 DAYS. MAXIMUM AGGREGATE SIZE IS 1". MAXIMUM AIR ENTRAINMENT IS 3%. CEMENT SHOULD BE TYPE 1 OR 2
6. SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF. IF SOIL CONDITIONS VARY FROM THIS, THE PROJECT ENGINEER MUST BE NOTIFIED. ALL FOOTINGS MUST BEAR ON UNDISTURBED SOIL. ALL SLOPES MUST BE STABILIZED
7. ADJACENT GROUND SURFACES SHALL BE SLOPED AWAY FROM STRUCTURE DRAINAGE OF SURROUNDING AREA SHALL ALSO BE PROVIDED TO PREVENT ACCUMULATION OF SOIL AND EROSION OF SOIL NEAR FOOTINGS
8. UNIFORM SOIL CONDITIONS, MUST BE PROVIDED UNDER SLAB AND FOOTINGS. CUT/FILL OR NON-UNIFORM SOIL CONDITIONS SHOULD BE EXCAVATED AND REPLACED W/ UNIFORM ENGINEERED FILL MATERIAL TO MINIMIZE DIFFERENTIAL MOVEMENT
9. THE TOPS OF FOUNDATION WALLS SHALL EXTEND 6" ABOVE THE ADJACENT FINISH GRADE



SLAB BOTTOM PERSPECTIVE VIEW

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7

SCALE @ 24" X 36"

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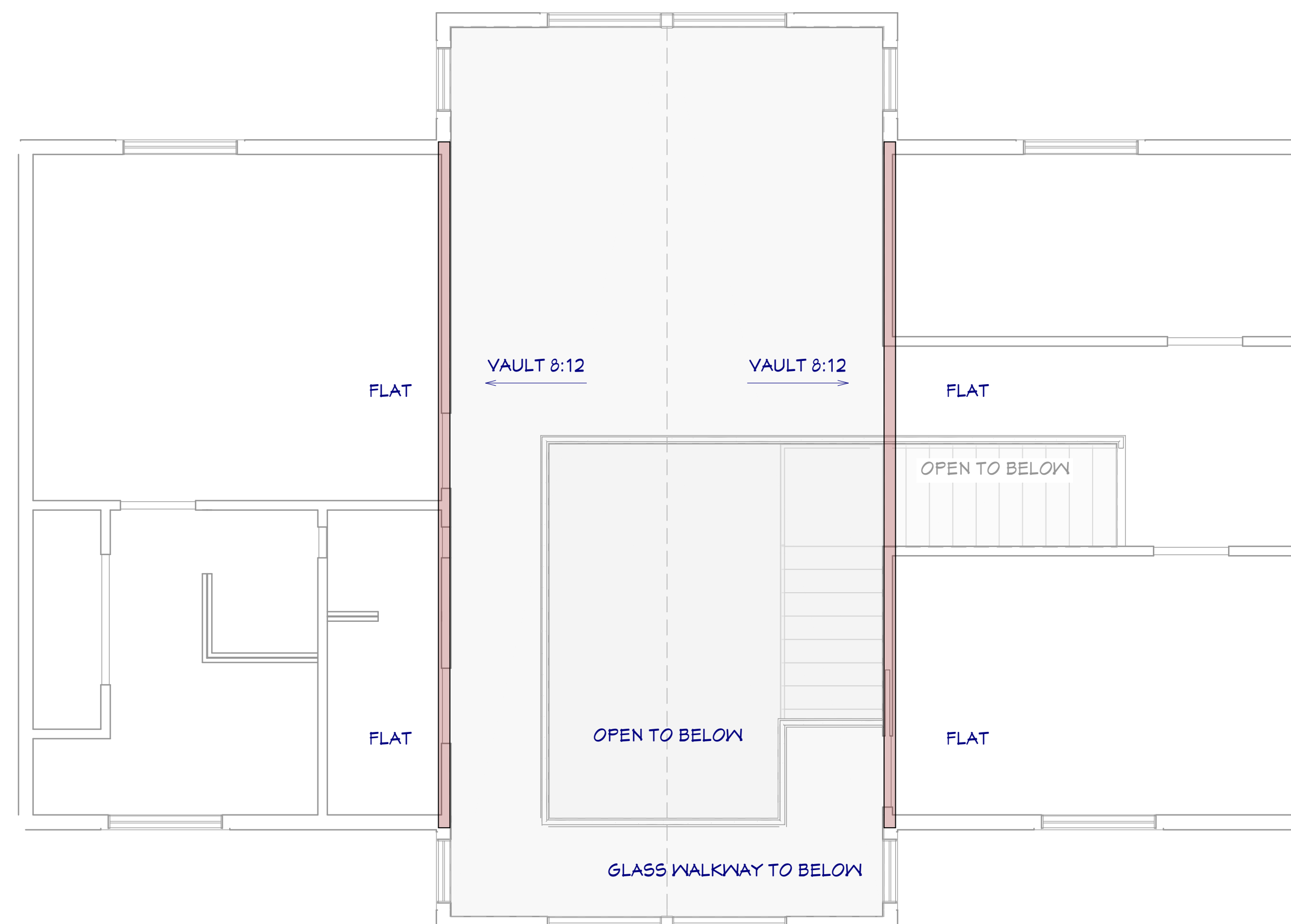
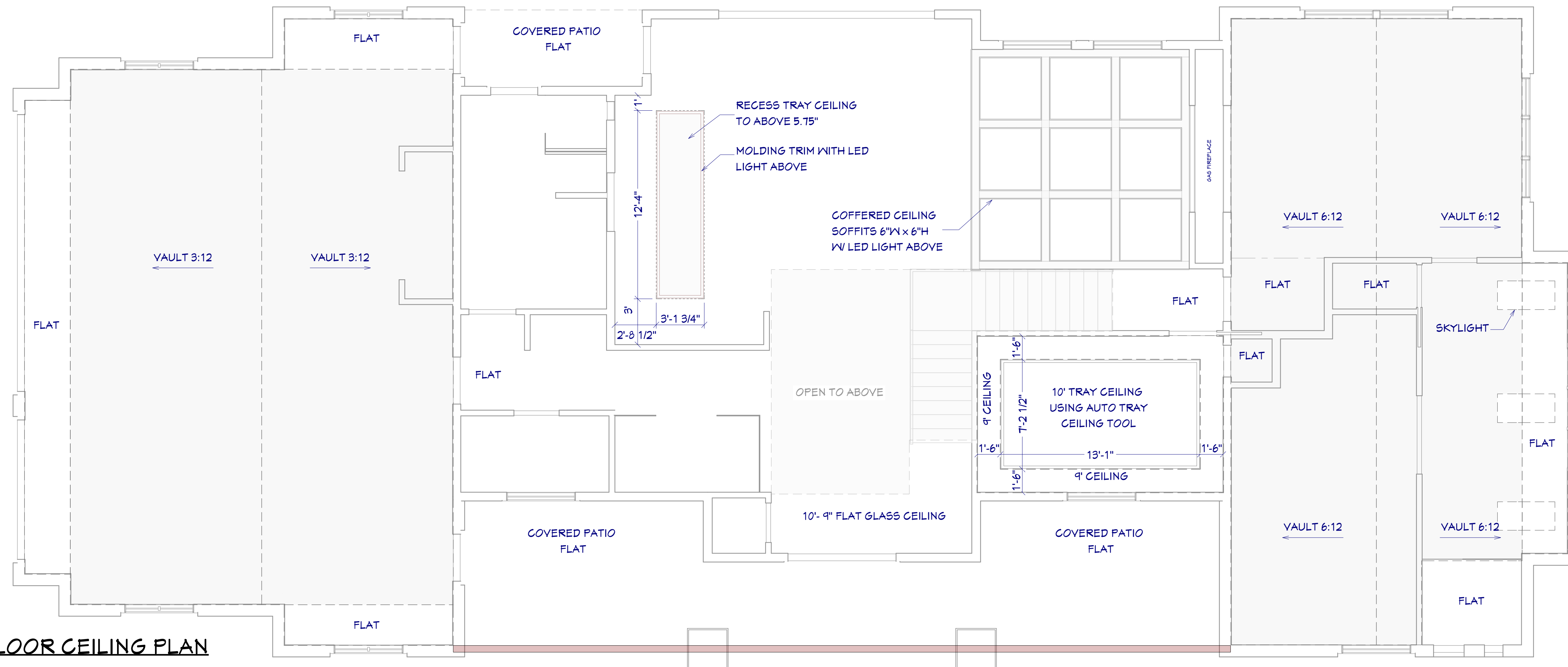
FOUNDATION PLAN

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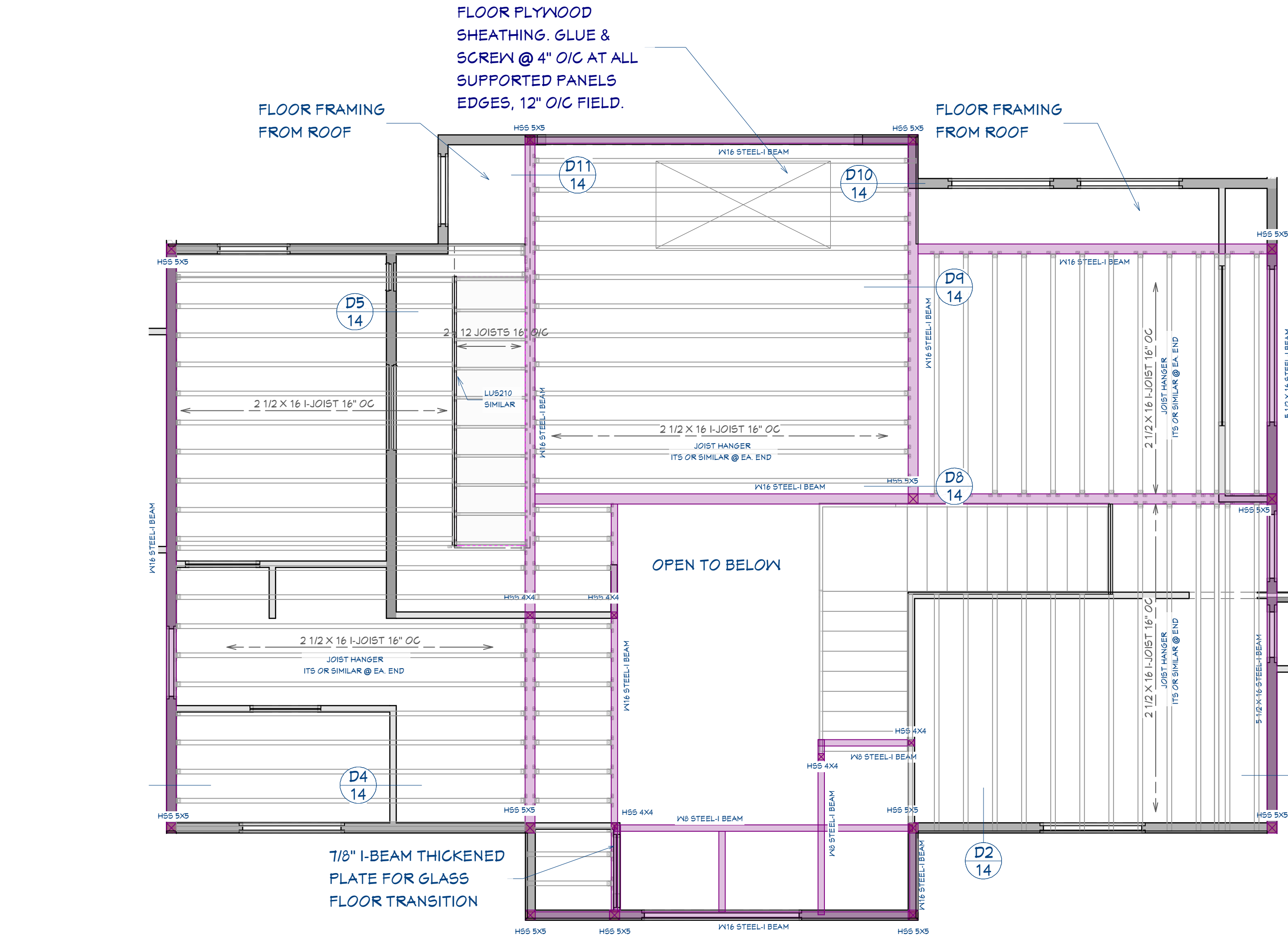
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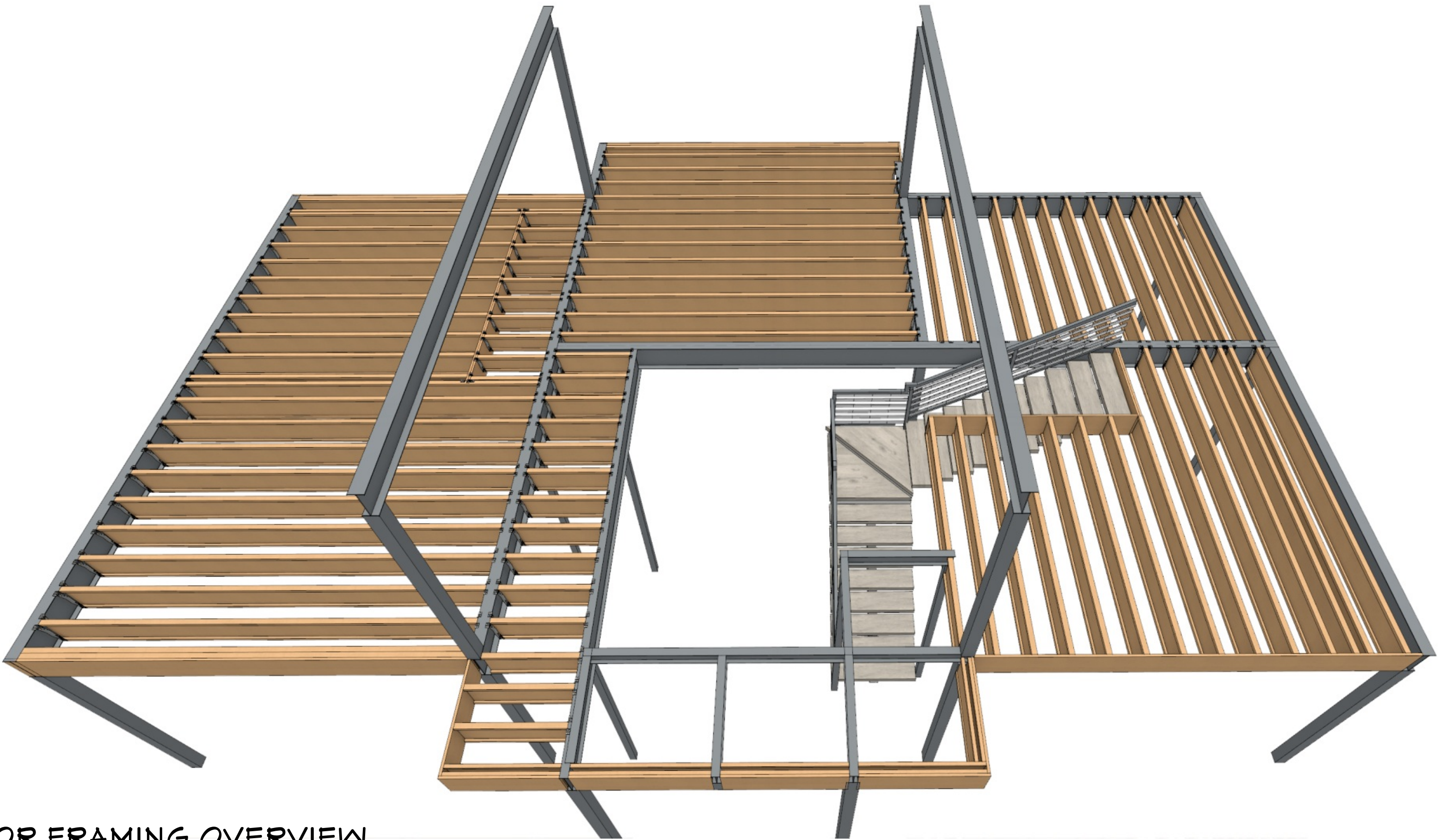
GENERAL FRAMING NOTES:

1. ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH NO. 2 AND LARGER LUMBER SHALL BE DOUGLAS FIR NO.1 OR BETTER, UNO.
2. WALL HEADERS: (2) 2 X 10 DF 2 W/ IK/IT TYP. UNO
3. I-JOISTS AND LVL MEMBERS MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS.
4. ALL TRUSSES SHALL BE ENGINEERED AND STAMPED WITH A SEPARATE ENGINEERED DOCUMENT.
5. PRE-MANUFACTURED WOOD JOISTS & TRUSSES SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUSS OR JOIST COMPANY. NO MEMBERS SHALL BE MODIFIED AND MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MEMBERS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF THE JOISTS & TRUSSES IN WRITING TO THE CONTRACTOR/ENGINEER. PRE-MANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ENGINEER OR ICBO APPROVED.
6. ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS. CONNECT BLOCKING TO TOP OF WALL W/ SIMPSON FRAMING ANCHORS. ROOF JOIST TO HAVE HURRICANE CLIPS @ 48" O.C. OR SIMPSON H-1 HURRICANE CLIPS @ 24" O/C. INSTALL PRIOR TO ROOF SHEETING.
7. ALL WOOD & IRON CONNECTIONS MUST CARRY THE CAPACITY OF THE MEMBER. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS. IF OTHER THAN STANDARD CONNECTIONS ARE REQUIRED, CONTACT PROJECT ENGINEER FOR ASSISTANCE. USE SIMPSON OR OTHER ICC LISTED CONNECTIONS.
8. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL.
9. NAILS: ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).
10. THRUST SHALL BE ELIMINATED BY THE USE OF COLLAR TIES OR CEILING JOISTS, WHERE REQUIRED.
11. BEVELED BEARING PLATES ARE REQUIRED AT ALL BEARING POINTS FOR BCI & TJI RAFTERS.
12. ALL COLUMNS SHALL EXTEND DOWN THRU THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THAT THEY ARE SUPPORTING.
13. ALL EXTERIOR WALLS SHALL BE SHEATHED WITH 1/2" THICK 2-M-Y SHEATHING OR EQUAL W/ 8D COMMON NAILS @ 6" O.C. @ EDGES @ 12" O.C. IN FIELD, UNO. SHEATHING SHALL BE CONTINUOUS ACROSS ALL HORIZONTAL FRAMING JOINTS.
14. ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. SHEATH ROOF PRIOR TO ANY OVER FRAMING.
15. PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNO, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.
16. GLULAM BEAMS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, ATTIC 117. EACH MEMBER SHALL BEAR AN ATIC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD.
17. GLULAM BEAMS SHALL BE 24F-V4 DF/DF OR EQUAL FOR SIMPLE SPANS, AND 24F-V8 DF/DF FOR CONTINUOUS SPANS.
18. "VERSA-LAM" & "MICRO-LAM MEMBERS SHALL BE GRADE 2.0 E.
19. ANY WOOD IN CONTACT W/ CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
20. ALL WOOD & IRON CONNECTORS SHALL BE INSTALLED W/ ALL REQUIRED FASTENERS IN COMPLIANCE W/ THEIR WRITTEN APPROVAL.
21. ALL HANGERS TO BE "SIMPSON" OR EQUAL.
22. NOTIFY EOR PRIOR TO DRILLING HOLES IN STEEL BEAMS.



2ND FLOOR FRAMING

1/4"=1'



FLOOR FRAMING OVERVIEW

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NO SCALE

SHEET NUMBER

9

SCALE @ 24" X 36"

DATE:

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FLOOR FRAMING

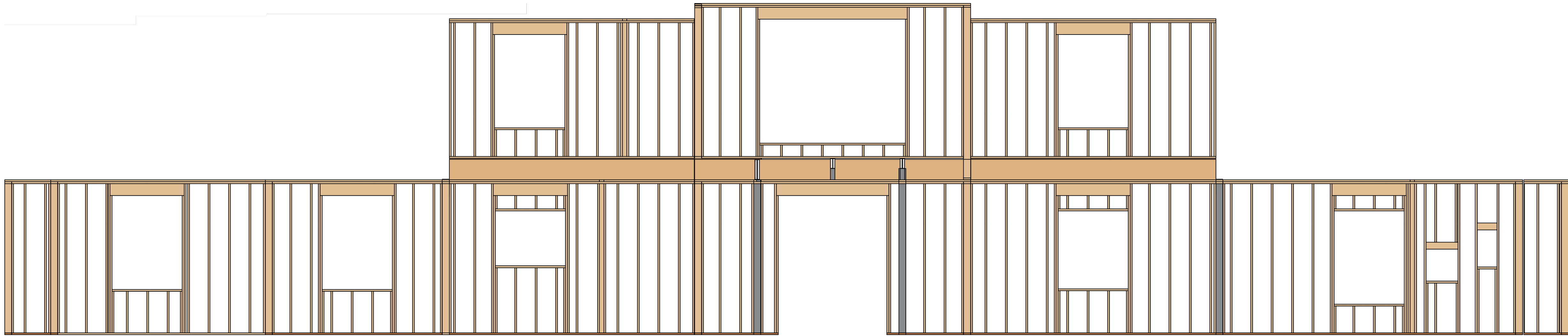
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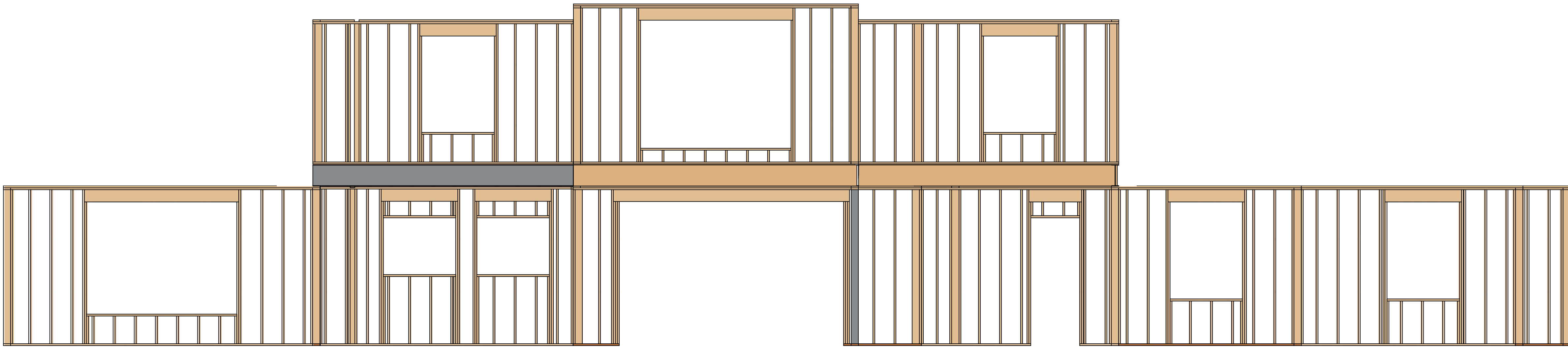
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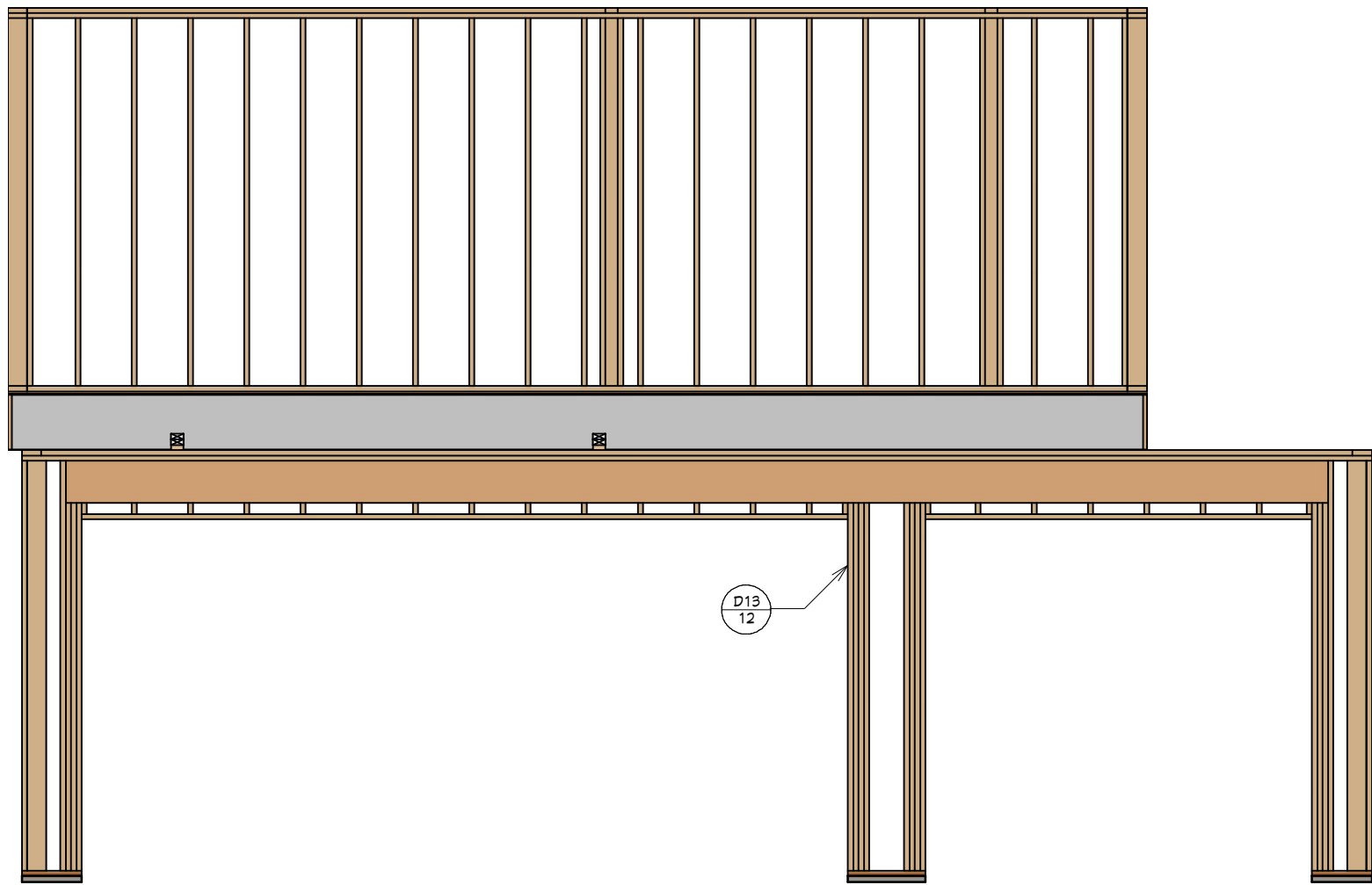
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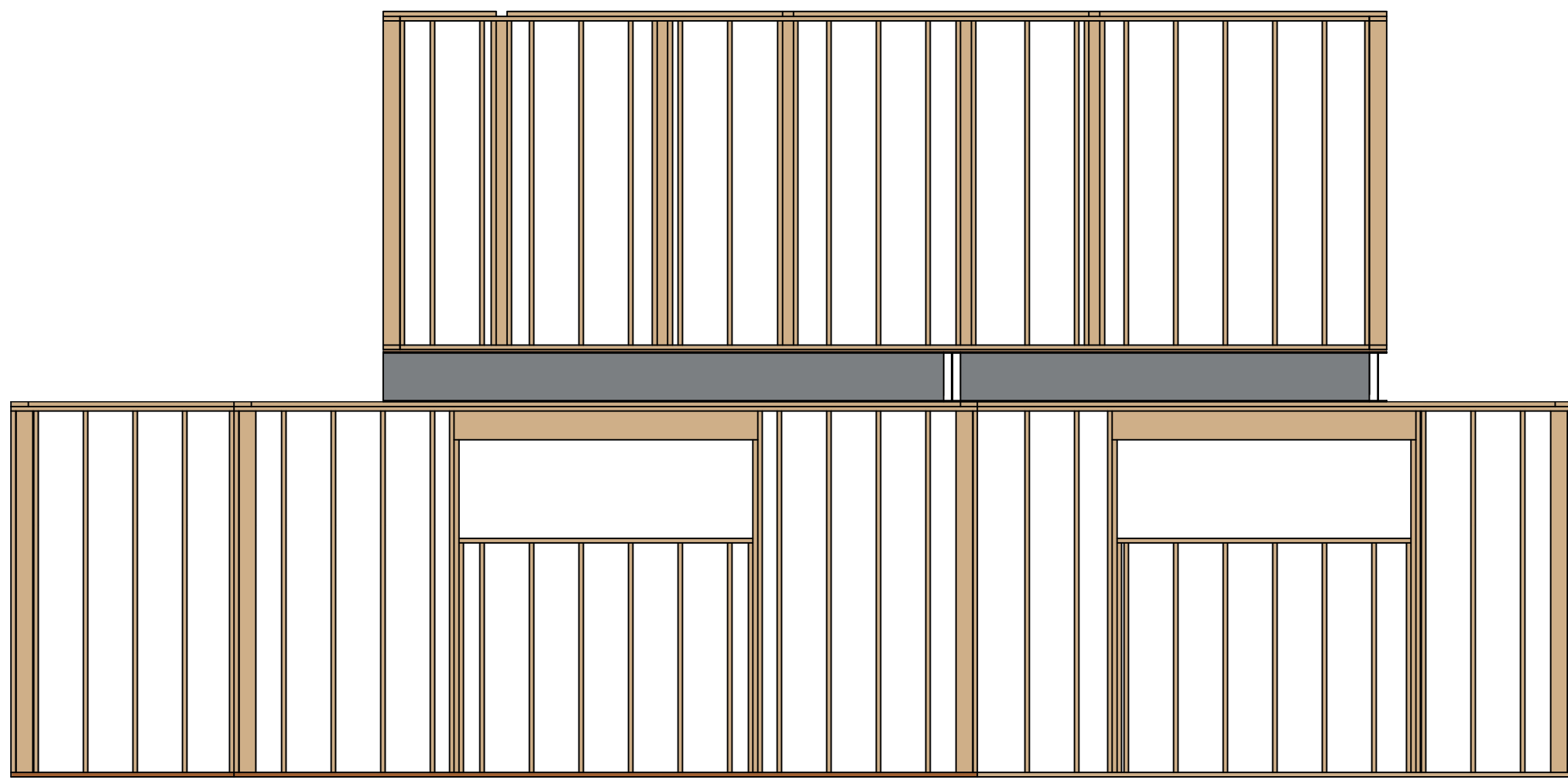
F1 FRONT SECTION FRAME DETAIL
1/4"=1'



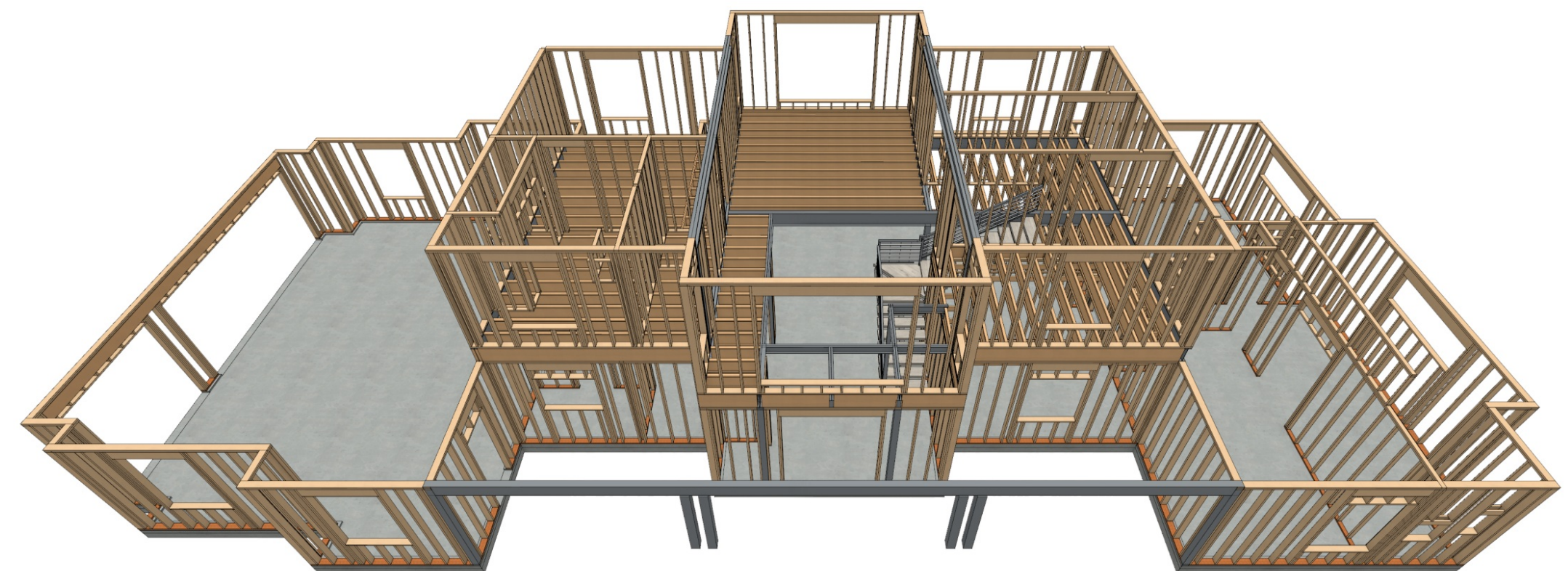
F2 REAR SECTION FRAME DETAIL
1/4"=1'



F3 SOUTH SECTION FRAME DETAIL
1/4"=1'



F4 NORTH SECTION FRAME DETAIL
1/4"=1'



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WALL FRAMING NOTES:

FRAMING & STRUCTURAL NOTES
WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES. CONFIRM WINDOW MFG. SPECS. BEFORE FRAMING
WALL HEADERS ON EXTERIOR WALLS: (2) 2" X 10" DF 2 TYP. INSULATED w/ (1) 2x CRIPPLE & (1) 2X KING AT TOP OF PLATE, UNO
PROVIDE DOUBLE FLOOR JOISTS. UNDER ALL WALLS RUNNING PARALLEL
PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.
PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT
ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED
SEE ROOF FRAMING FOR ADDITIONAL FRAMING NOTES

LUMBER SPECIES:
POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
EXPOSED CEDAR BEAMS TO BE DF-#2 OR BETTER, SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2
ALL STUDS TO BE DF#2 OR BETTER.
ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER.
SHEATHING SHALL BE AS FOLLOWS:
WALL SHEATHING SHALL BE 1/2" INT-APA RATED OR 7/16" OSB
FLOOR SHEATHING SHALL BE 3/4" T&G INT-APA RATED PLYWOOD

SHEET NUMBER
10

SCALE @ 24" X 36"
DATE:
DRAWN BY: S.H.

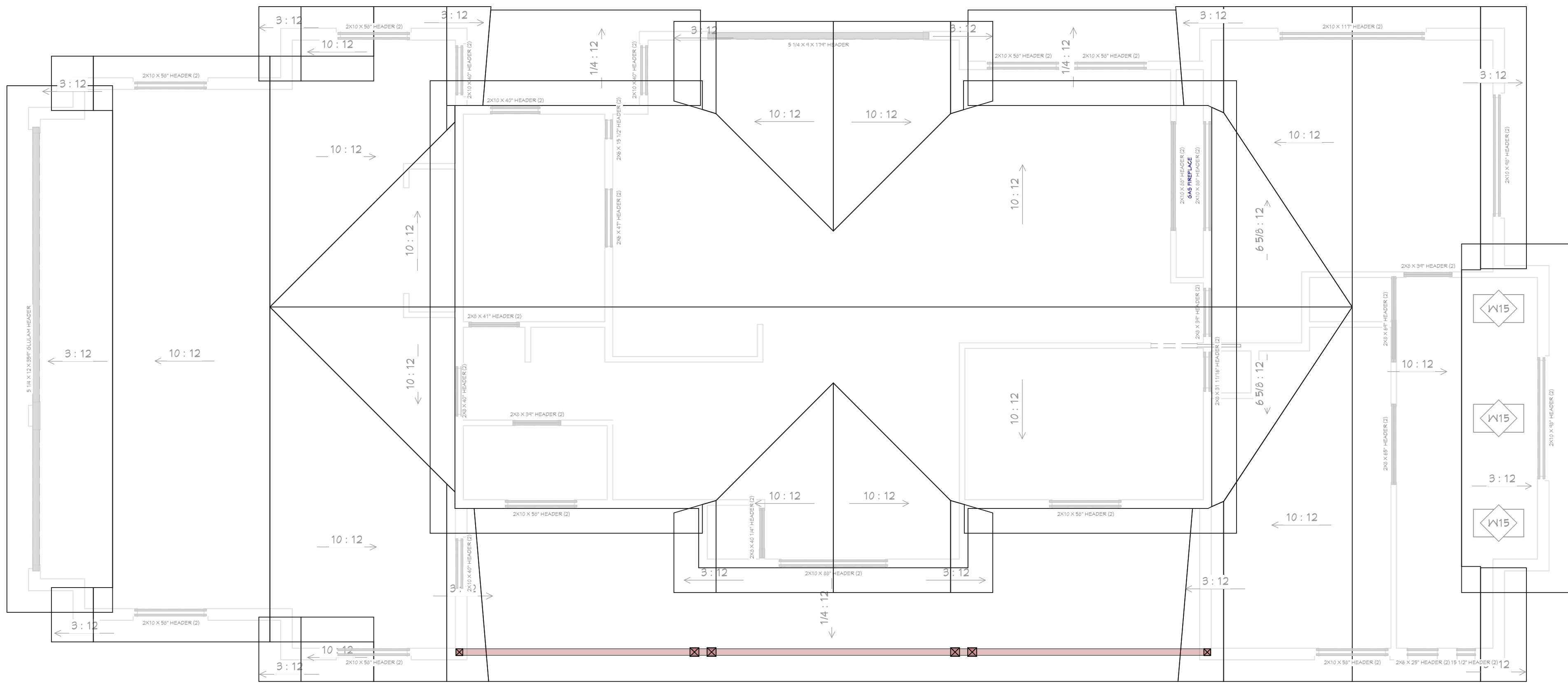
WALL FRAMING

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NASHVILLE

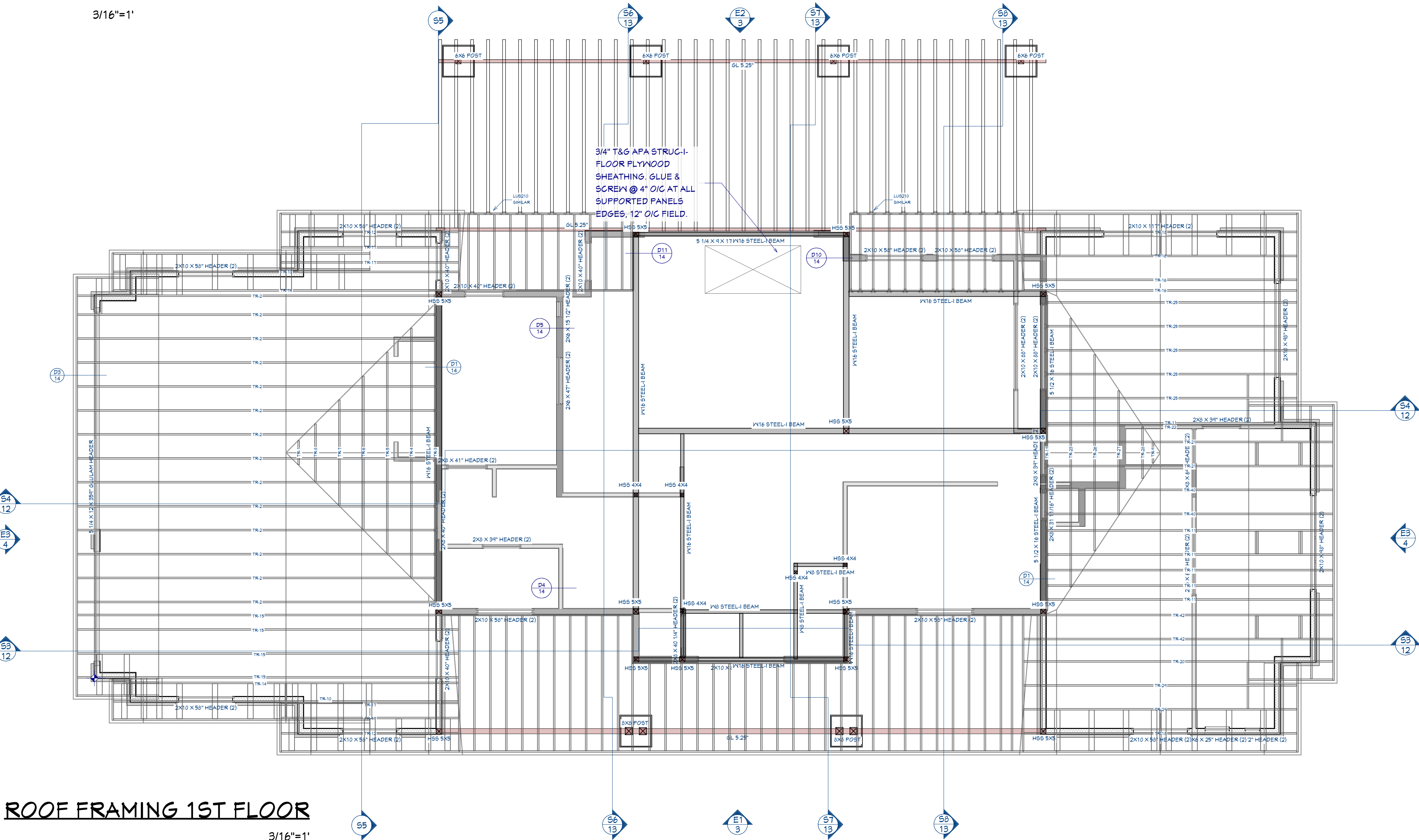
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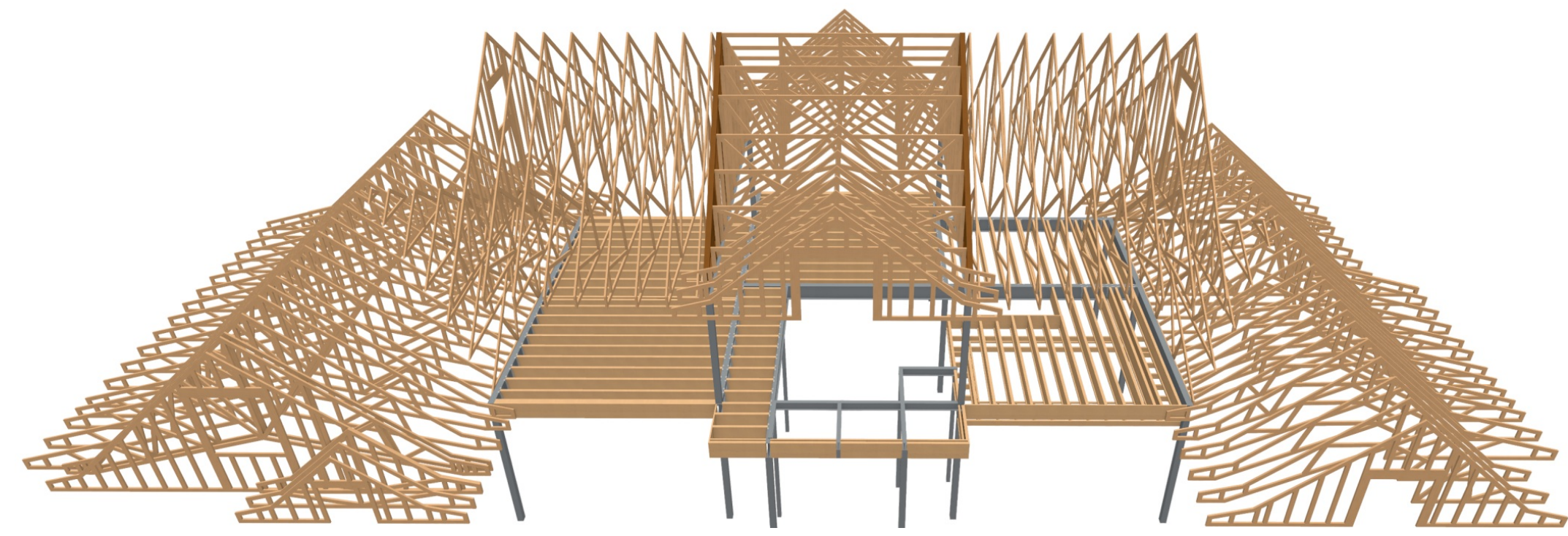
ROOF PLAN

3/16"=1'



ROOF FRAMING 1ST FLOOR

3/16"=1'

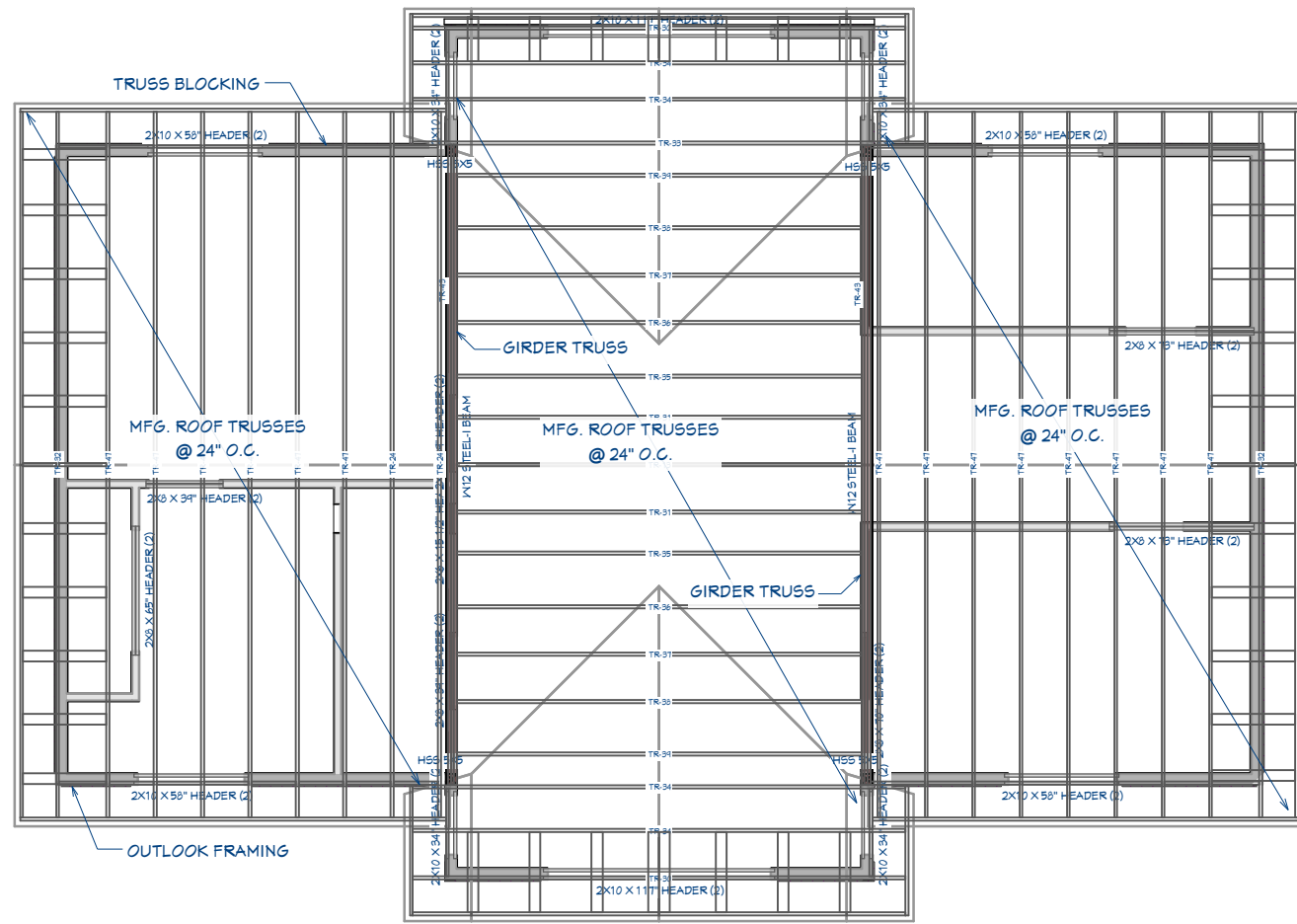


ROOF FRAMING RENDER

FOR ILLUSTRATION ONLY NO SCALE

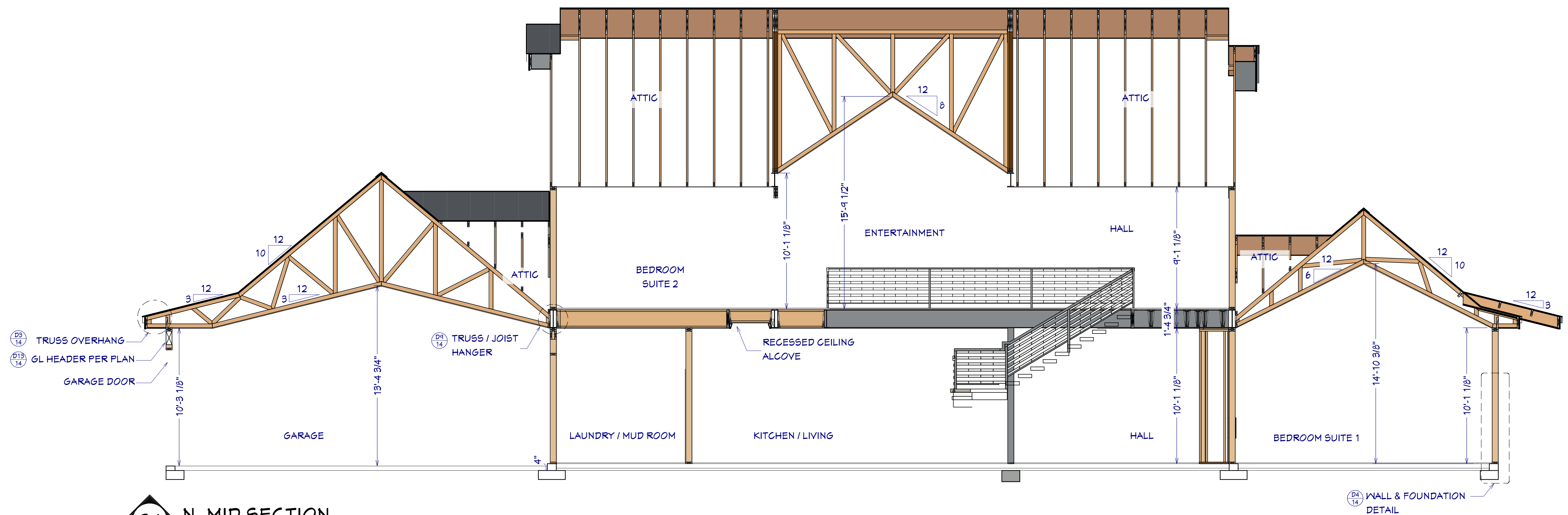
ROOF & FRAMING NOTES:

1. FRAMING IS FOR ILLUSTRATION ONLY. ALL FRAMING SHALL BE INSTALLED & BRACED TO MANUFACTURER'S DRAWINGS & SPECIFICATIONS
2. ALL TRUSSES OR TJI'S SHALL CARRY MANUFACTURER'S STAMP
3. TRUSSES OR TJI'S SHALL NOT BE FIELD ALTERED WITHOUT PRIOR ENGINEERING APPROVAL
4. ALL TRUSSES OR TJI'S SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
5. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER
6. ROOF JOIST TO BE TJI 560 OR EQUIVALENT
7. ALL ROOF FRAMING 24" O.C. UNO
8. ALL ROOF OVERHANGS 24" UNO
9. INSTALL ICE SHIELD AS REQUIRED
10. INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
11. MIN. SNOW LOAD SHALL BE 25 LBS PER SQUARE FOOT
12. ROOF SHEATHING 15/32" OSB OR 1/2" PLYWOOD 32/16 APA RATED W/ &d @ 6" O/C ALL SUPPORTED PANEL EDGES, 12" O/C FIELD
13. ROOF TRUSS OR TJI'S MANUFACTURER: _____

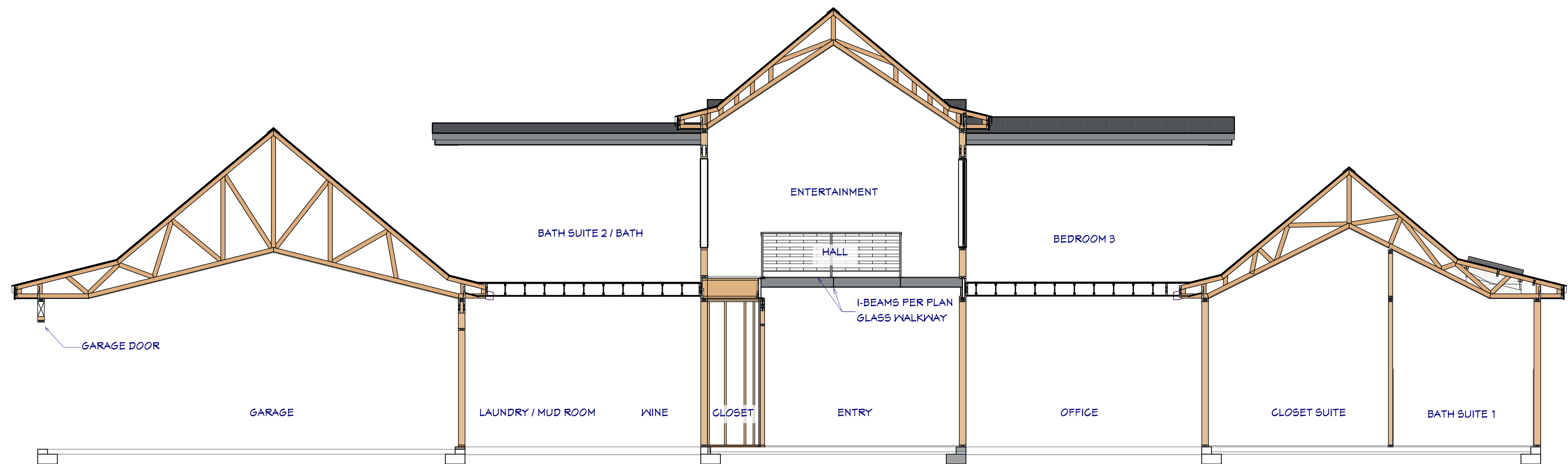


ROOF FRAMING 2ND FLOOR

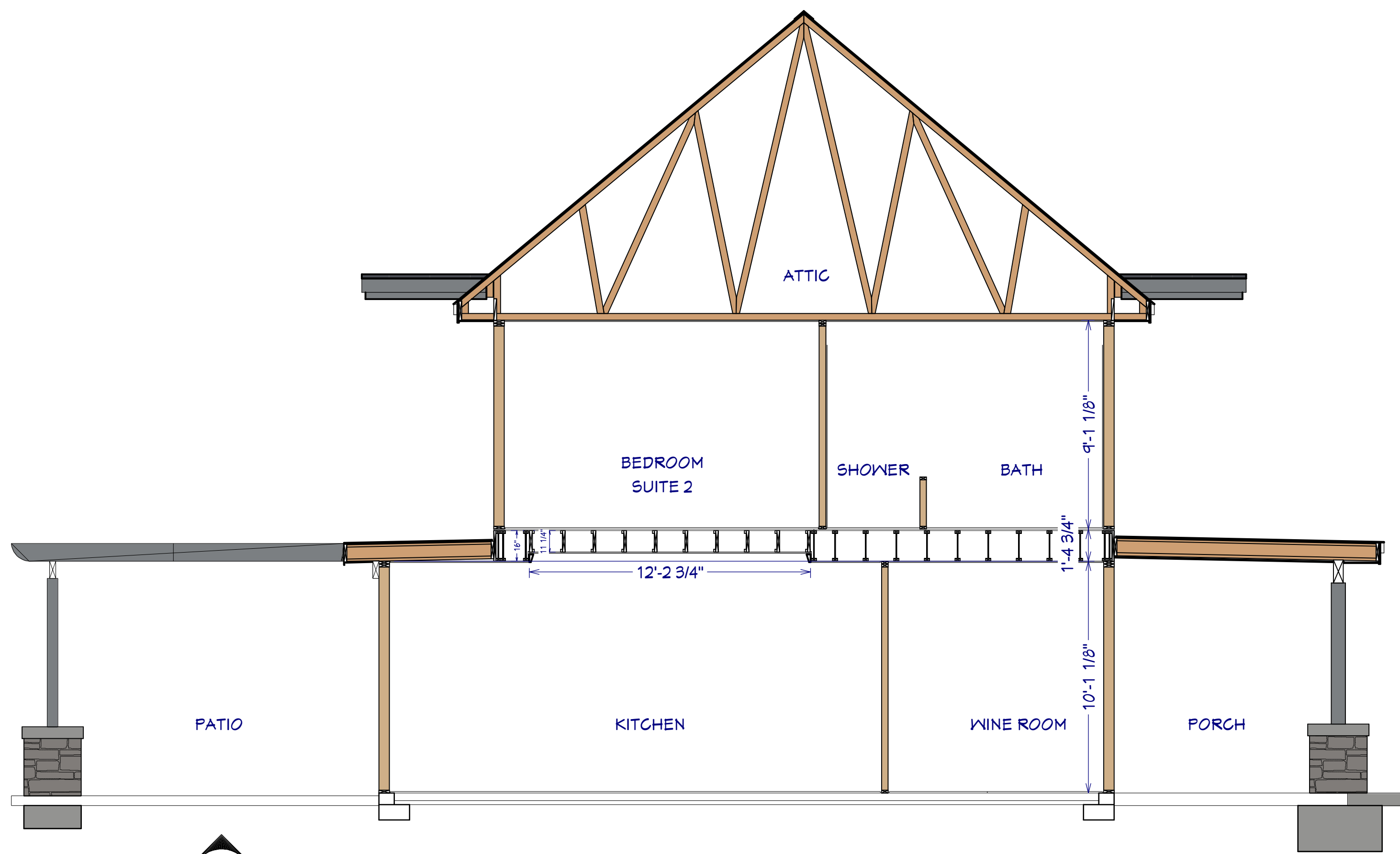
1/8"=1'



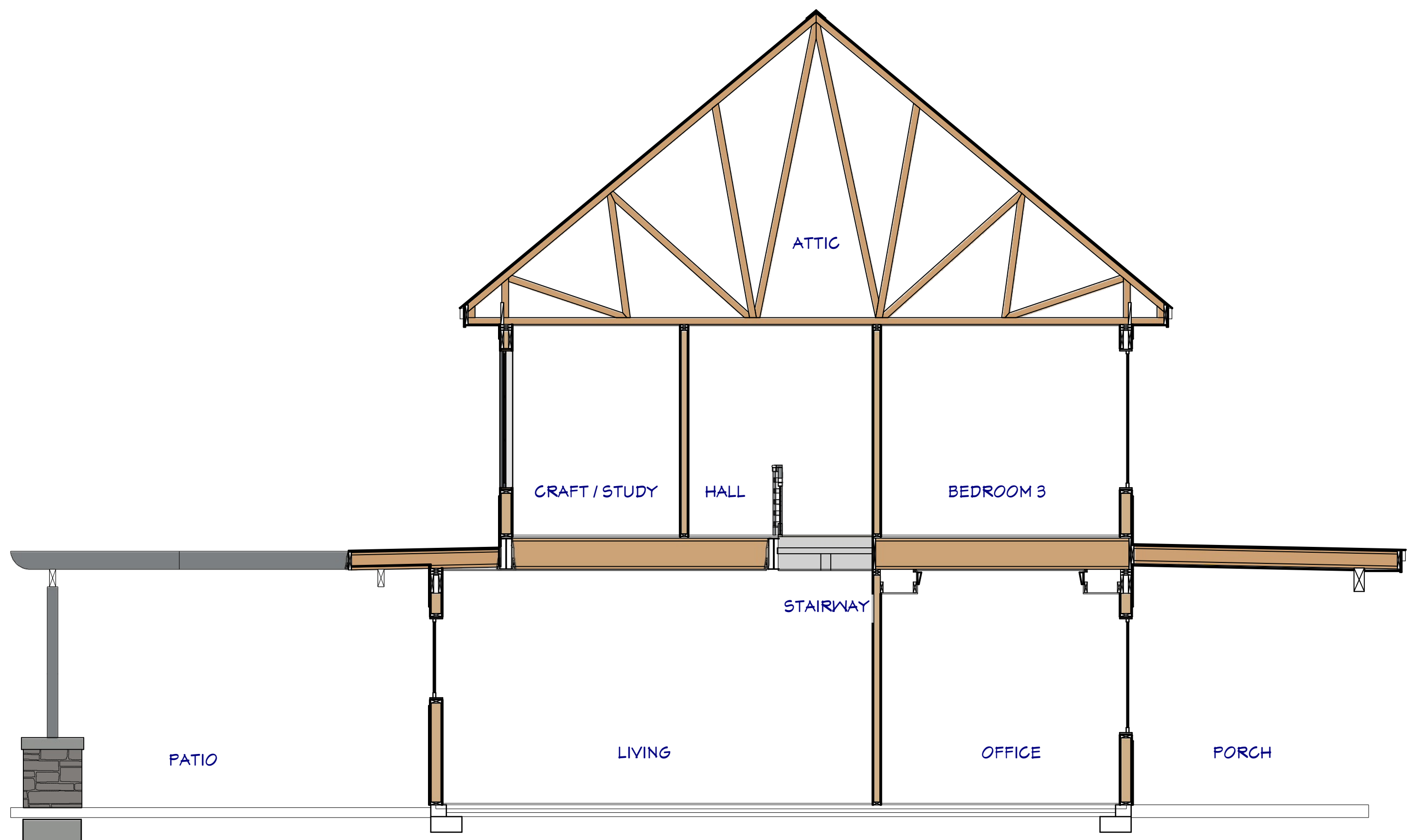
S4 N. MID SECTION
1/4"=1'



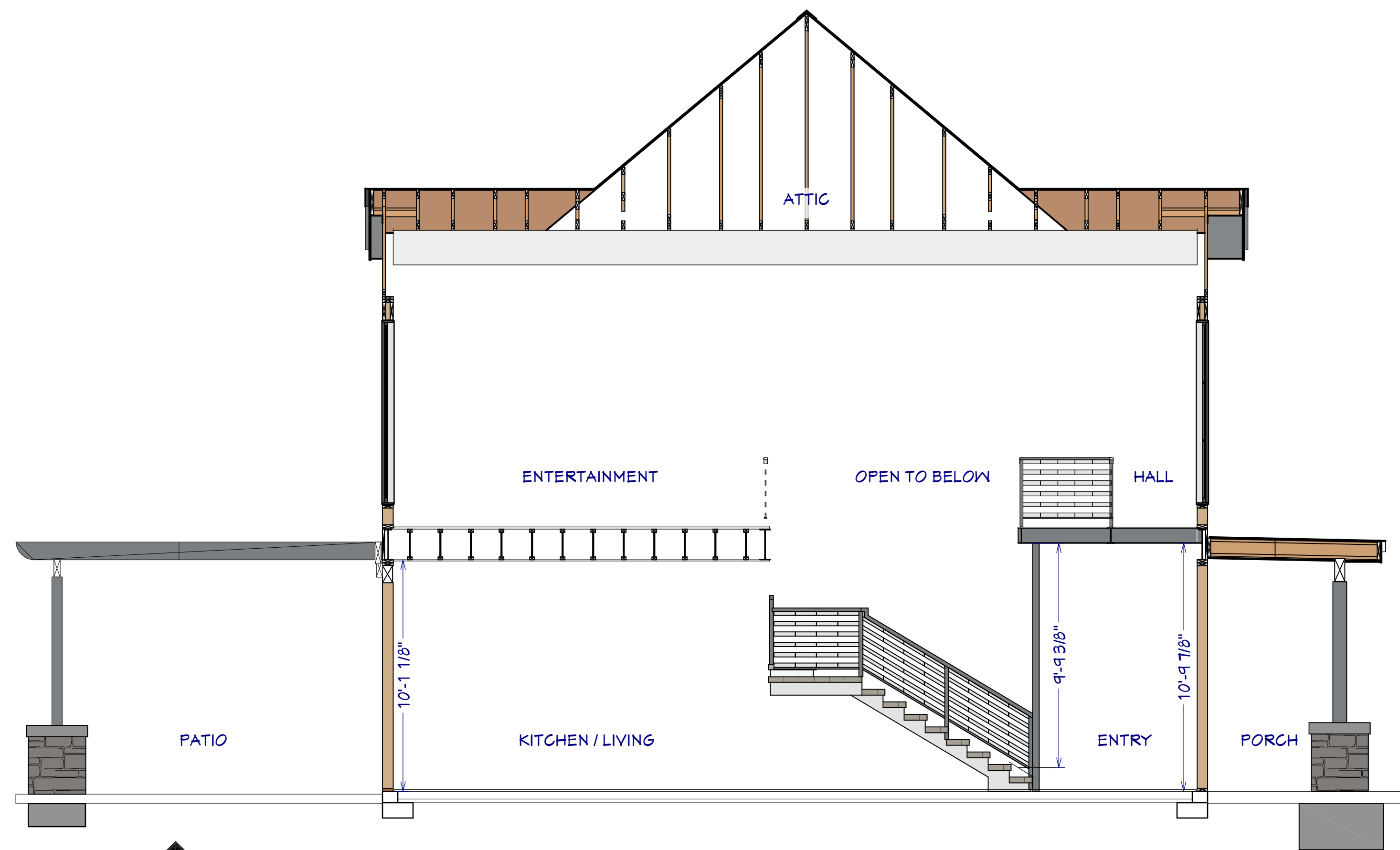
S3 N. ENTRY SECTION
1/4"=1'



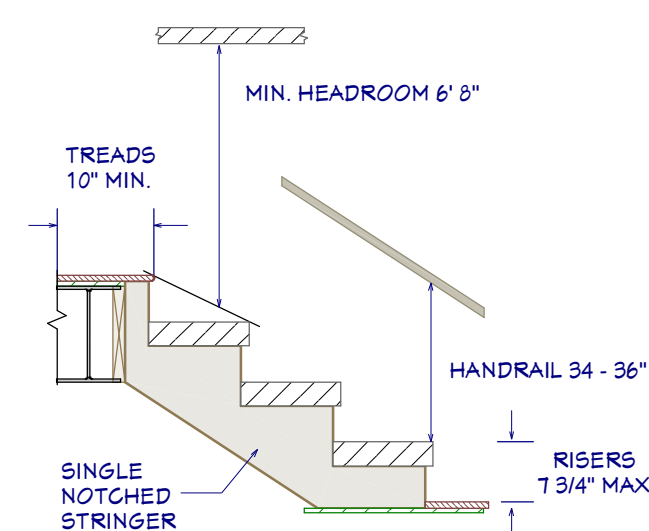
S4 E. KITCHEN SECTION
1/4"=1'



S8 E. LIVING SECTION
1/4"=1'



S7 E. ENTRY SECTION
1/4"=1'



STAIR DETAIL
1/2" = 1'

STAIR NOTES:

1. STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCROACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.
2. TREADS SHALL HAVE A MIN. WIDTH OF 10". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".
3. STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
4. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.
5. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
6. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
7. STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.
8. GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW AND SHALL HAVE A 34" MIN. HEIGHT
9. RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".
10. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

SHEET NUMBER

13

SCALE @ 24" X 36"

DATE:

DRAWN BY: S.H.

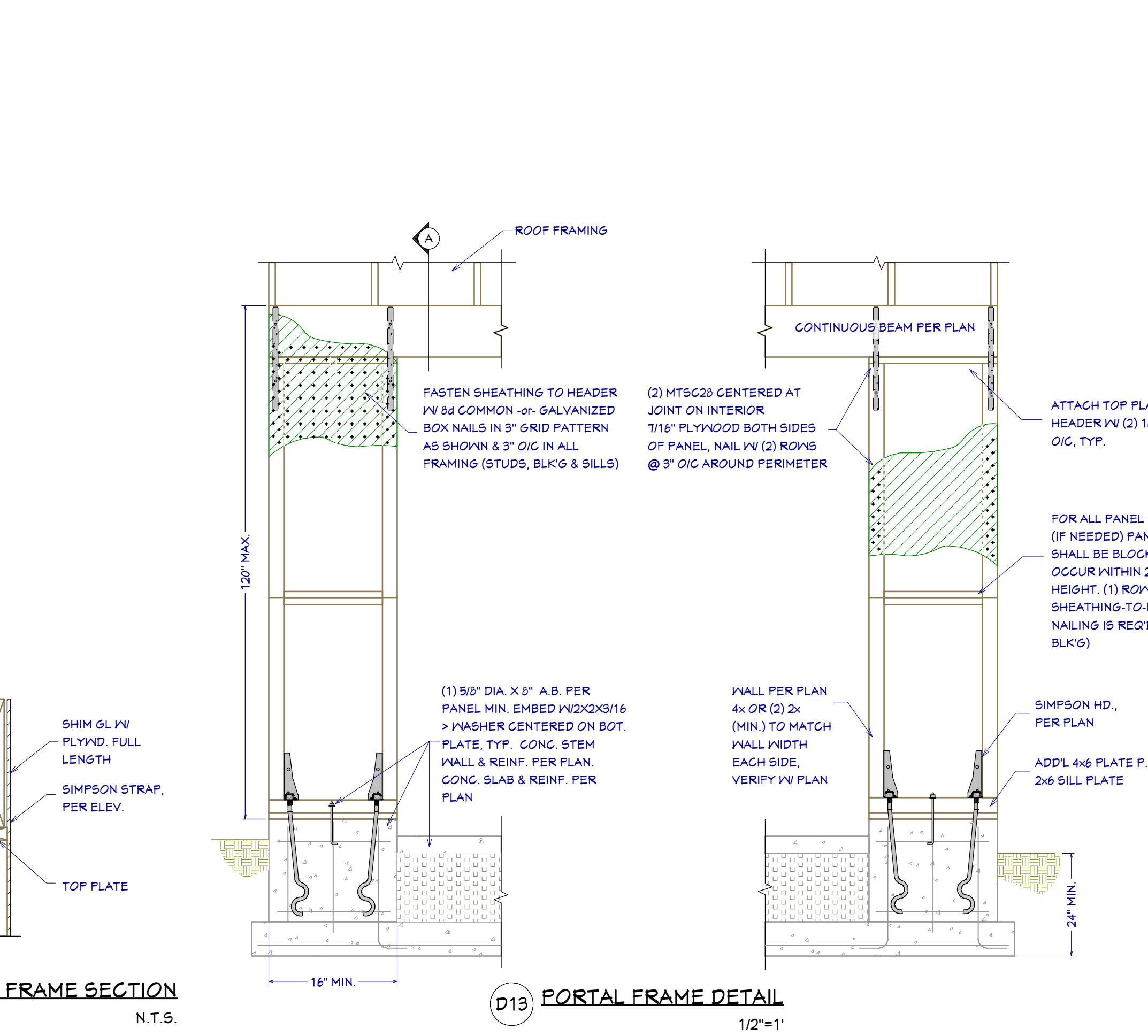
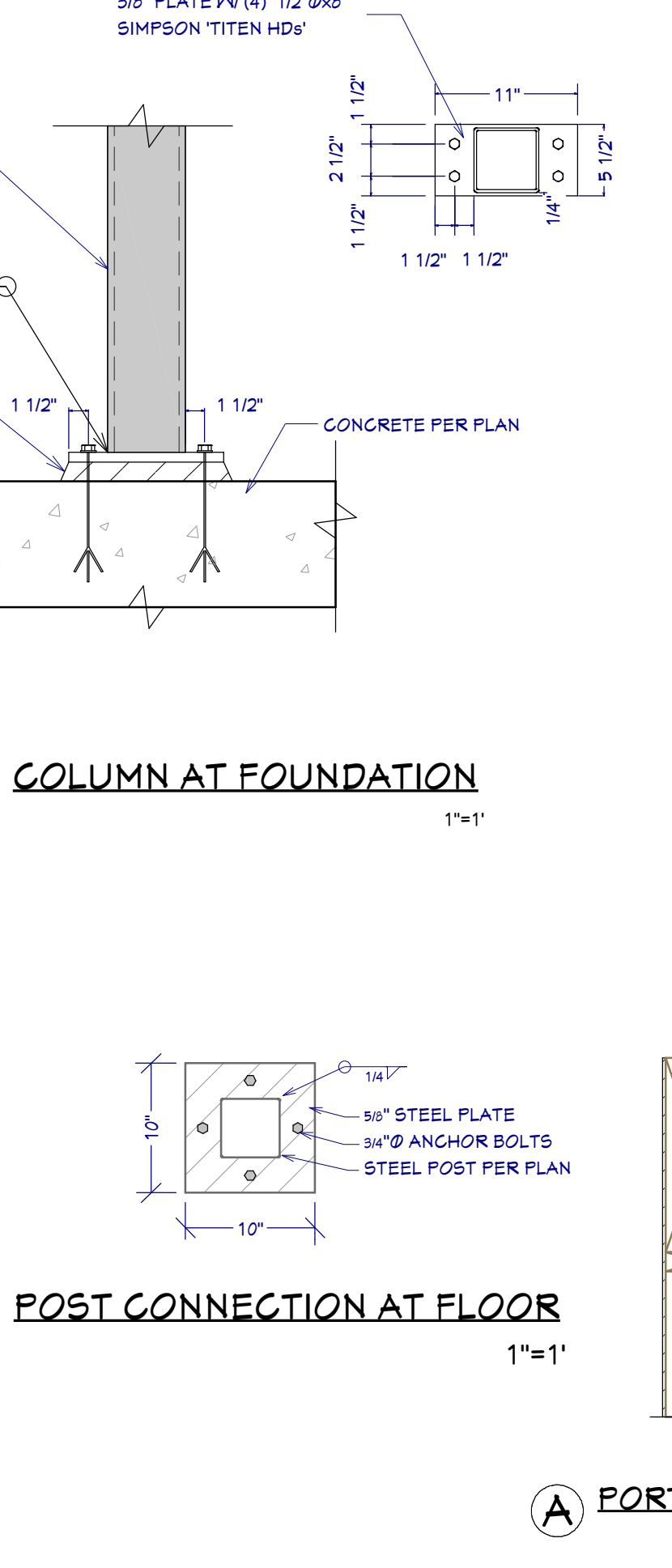
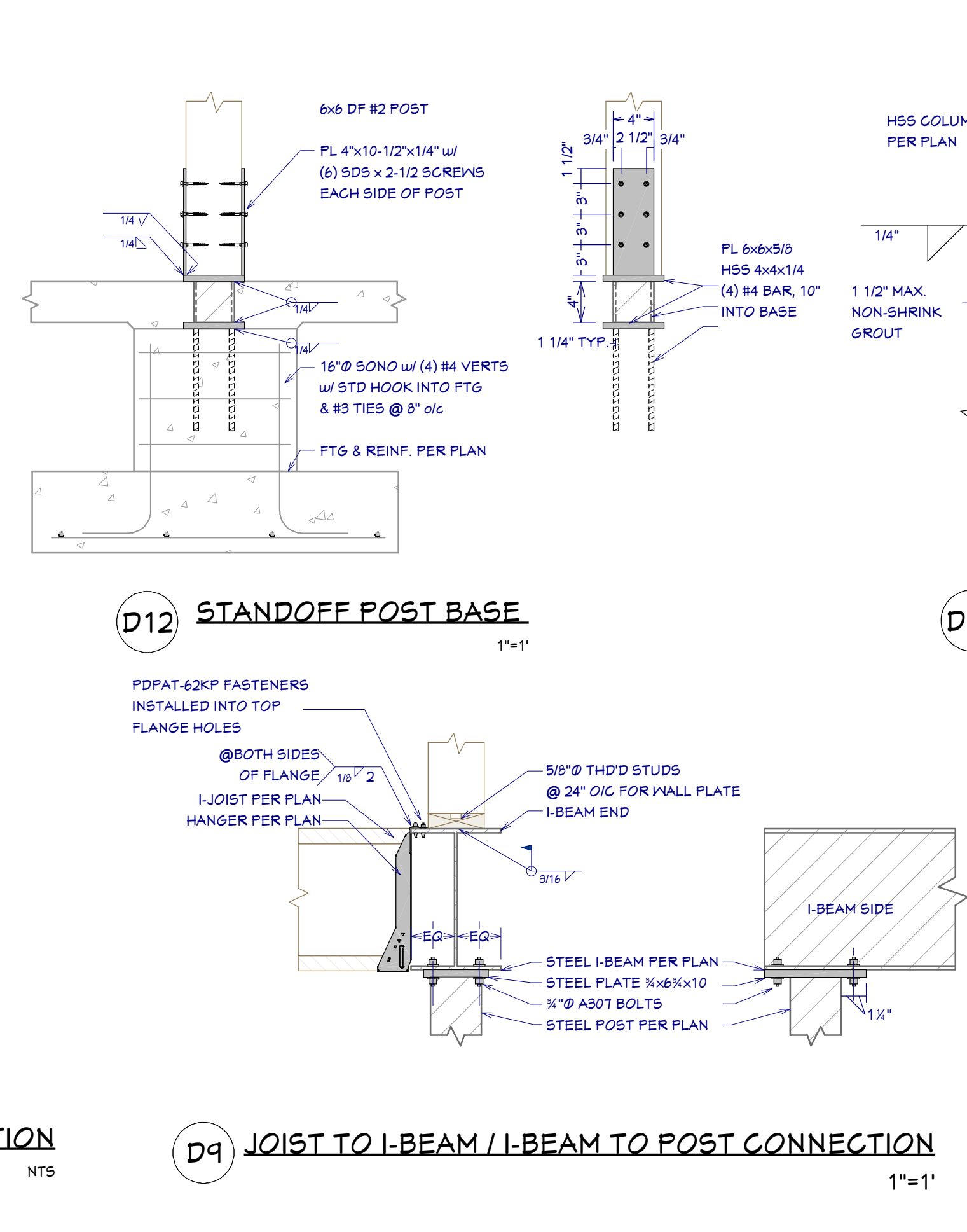
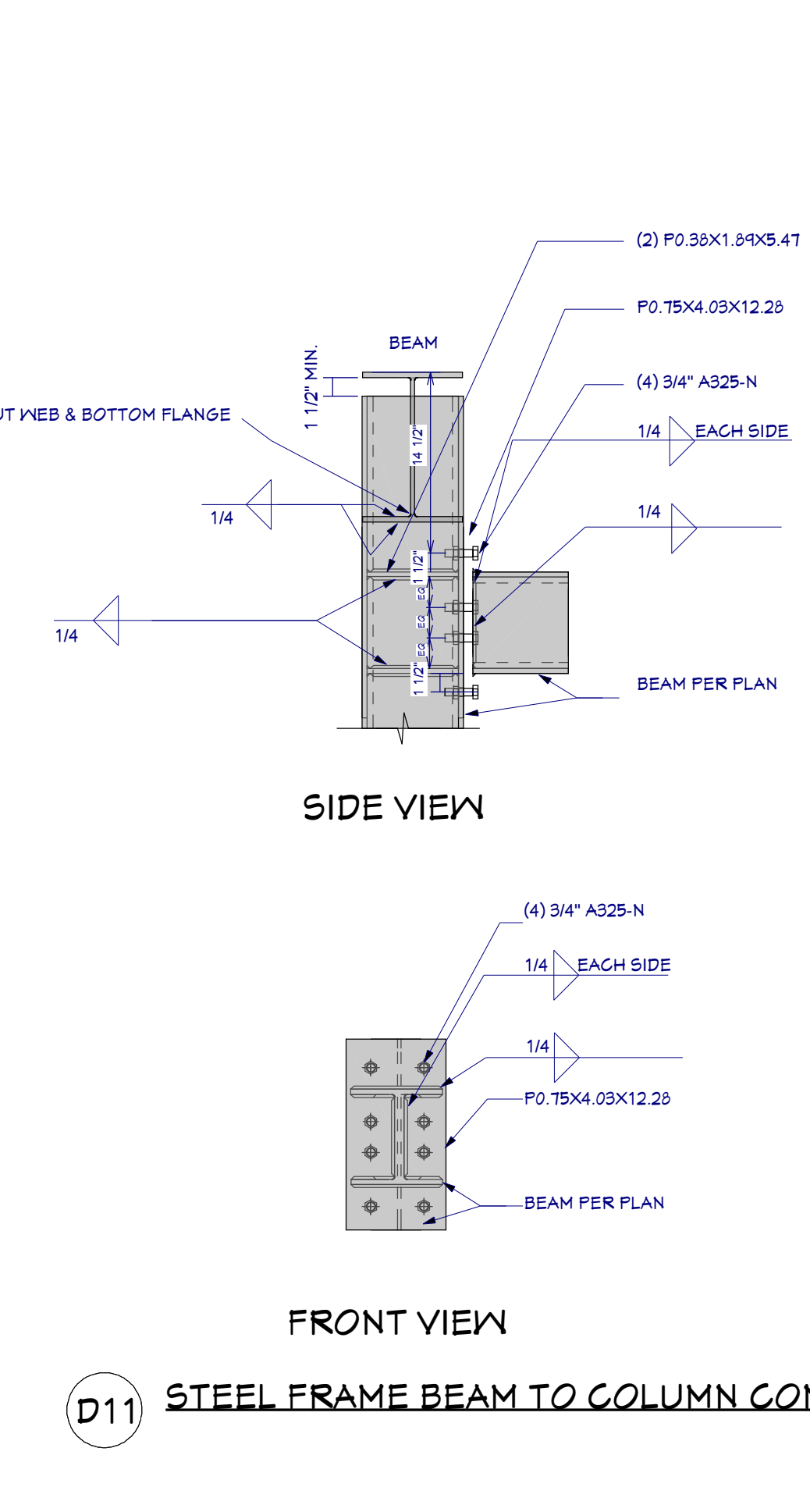
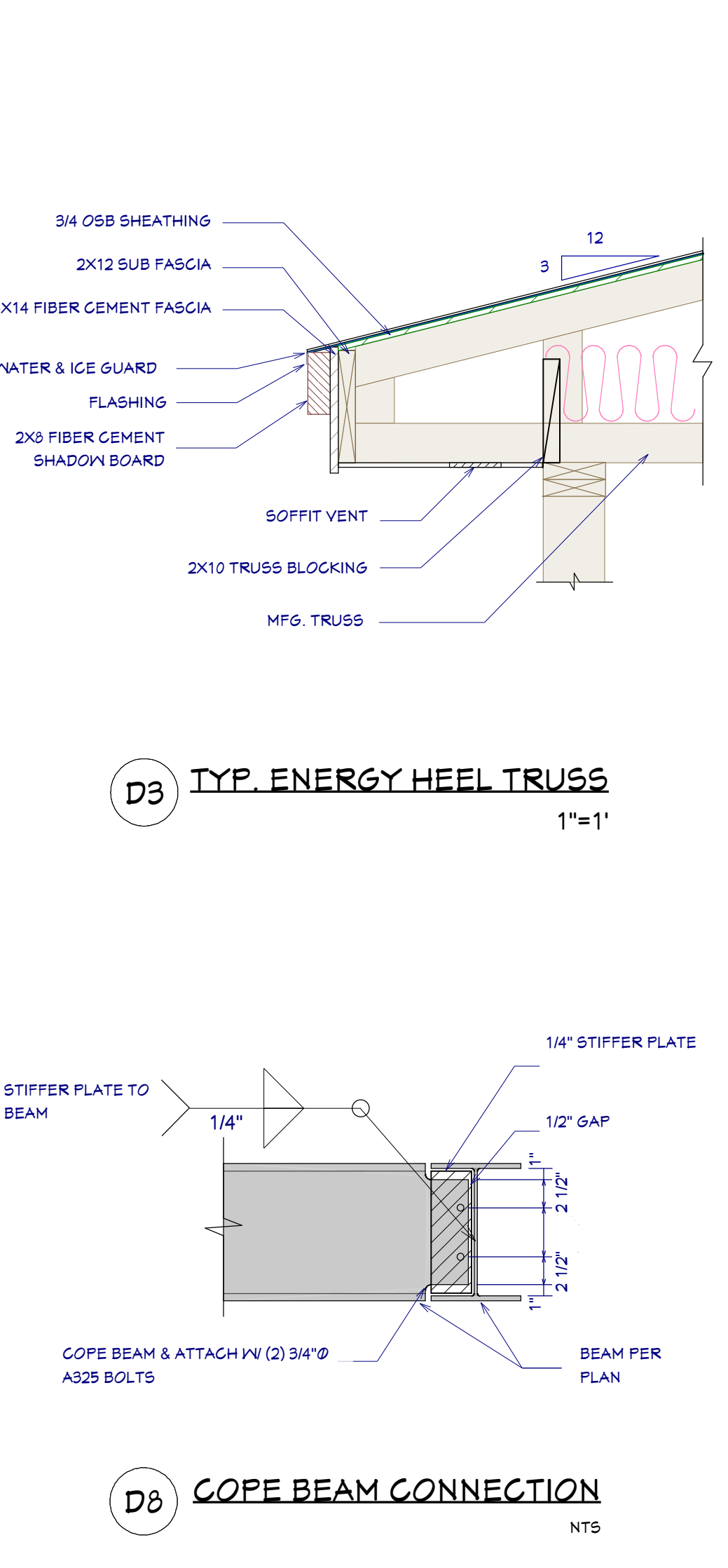
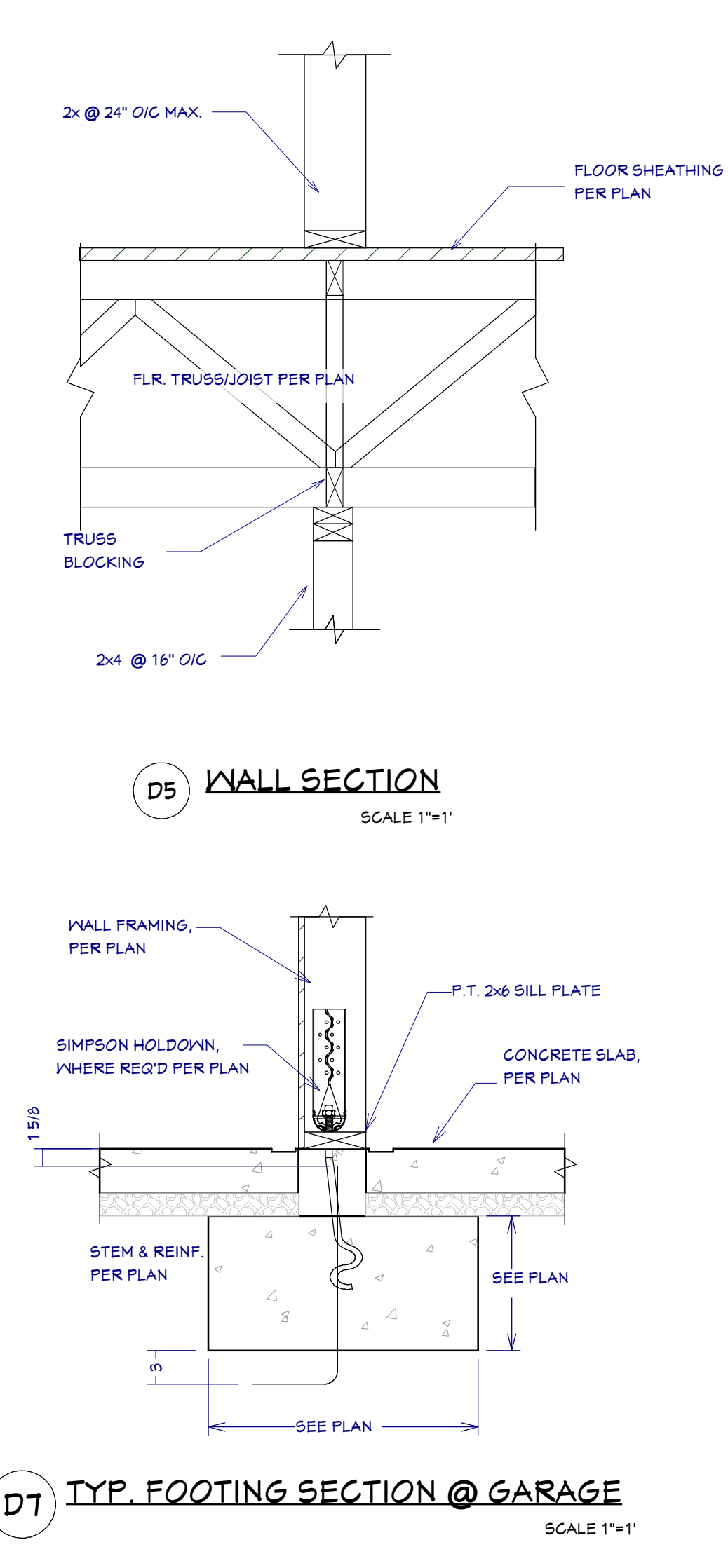
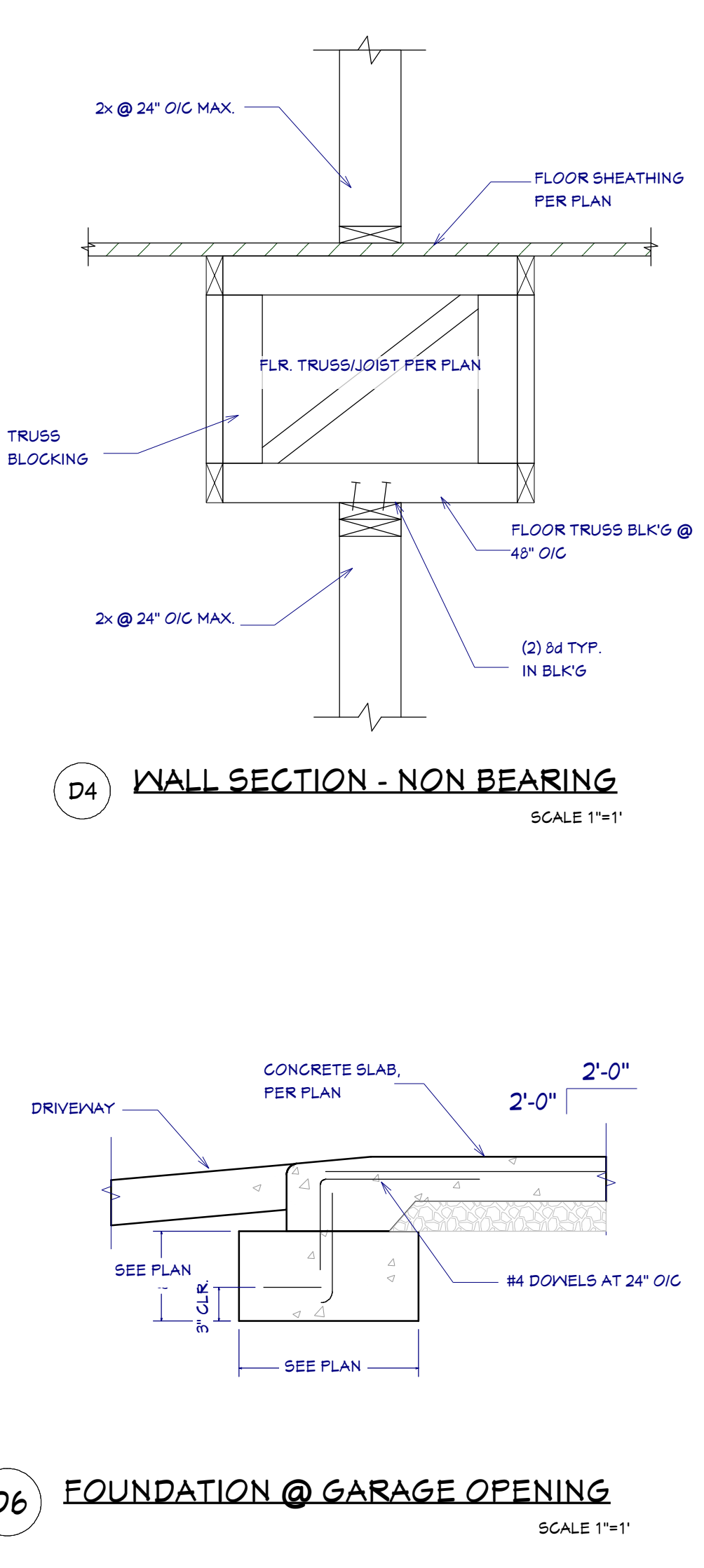
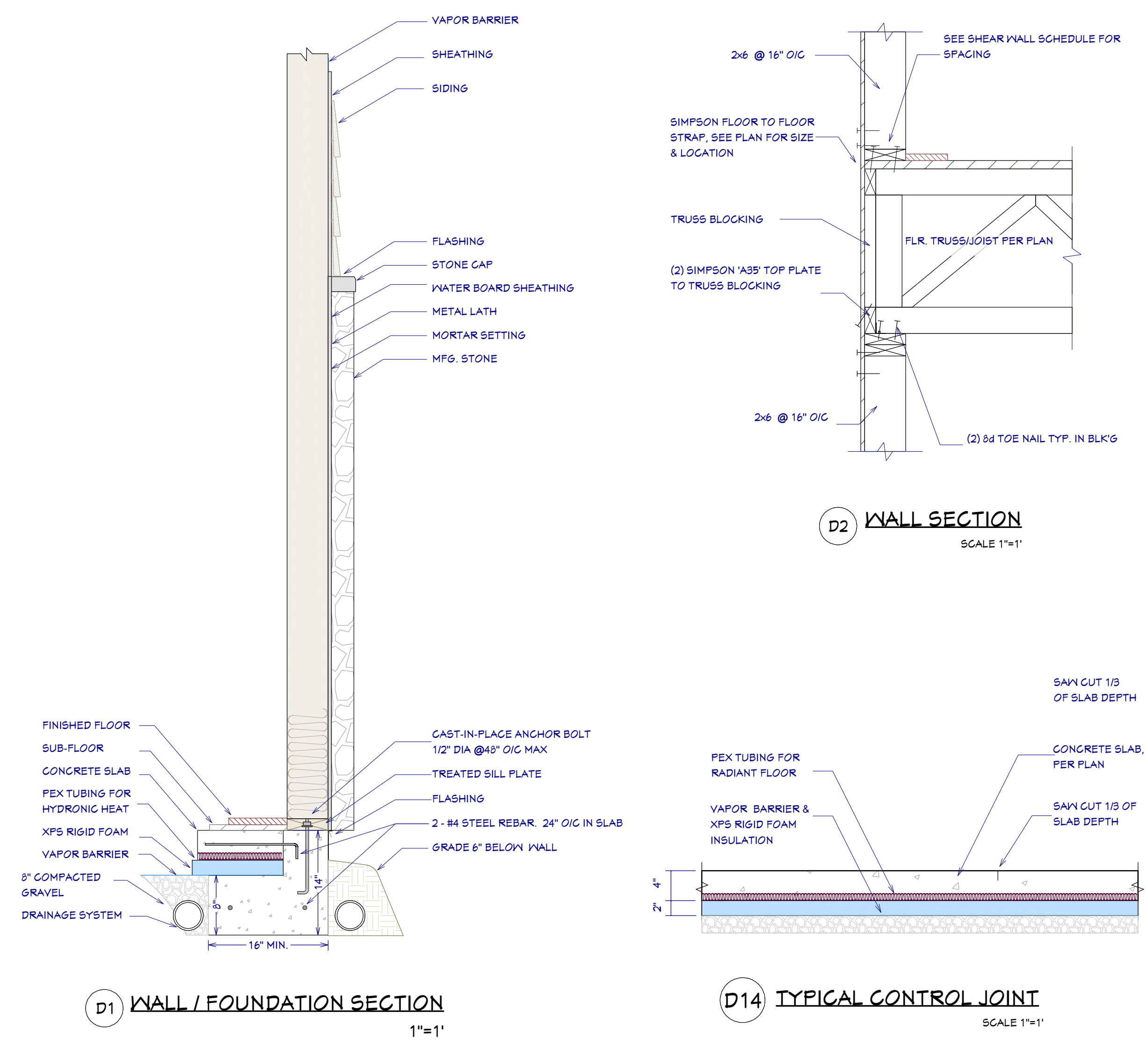
SECTIONS & DETAILS

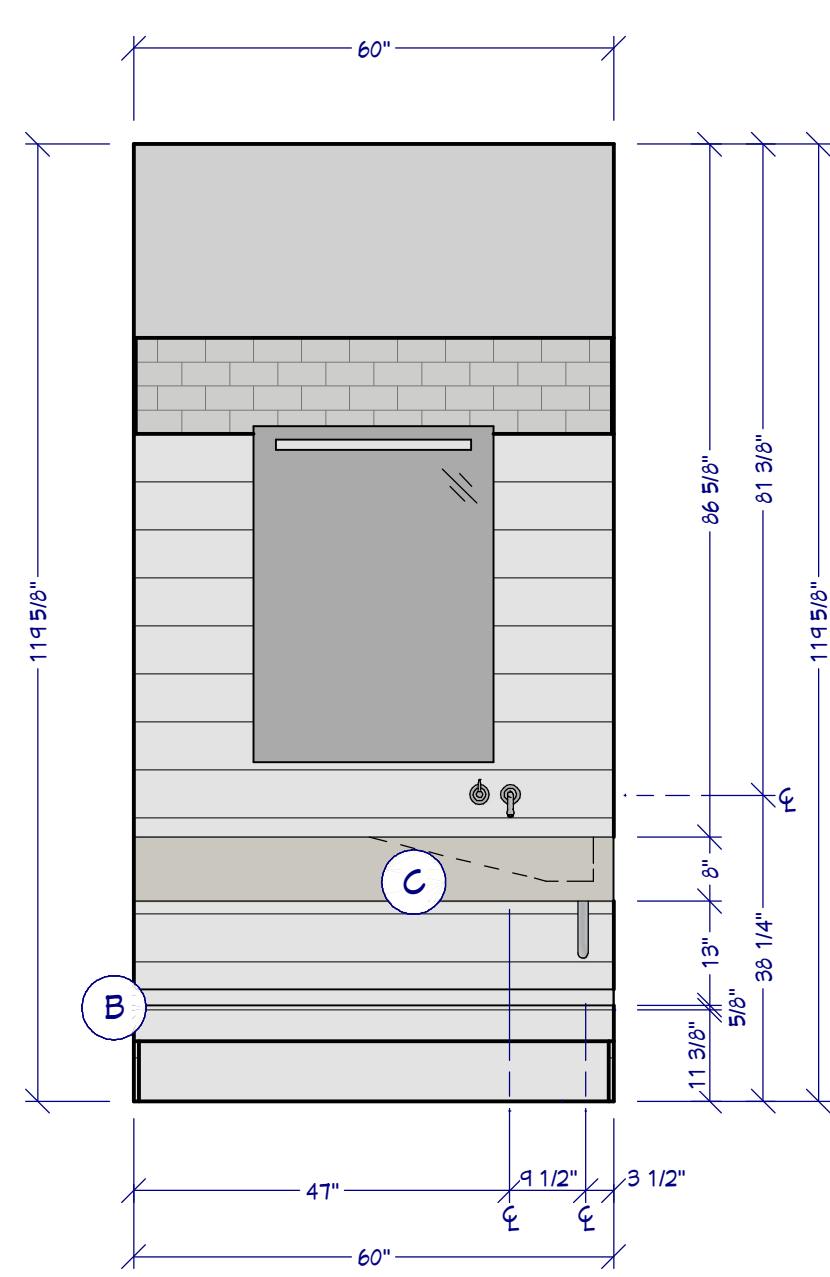
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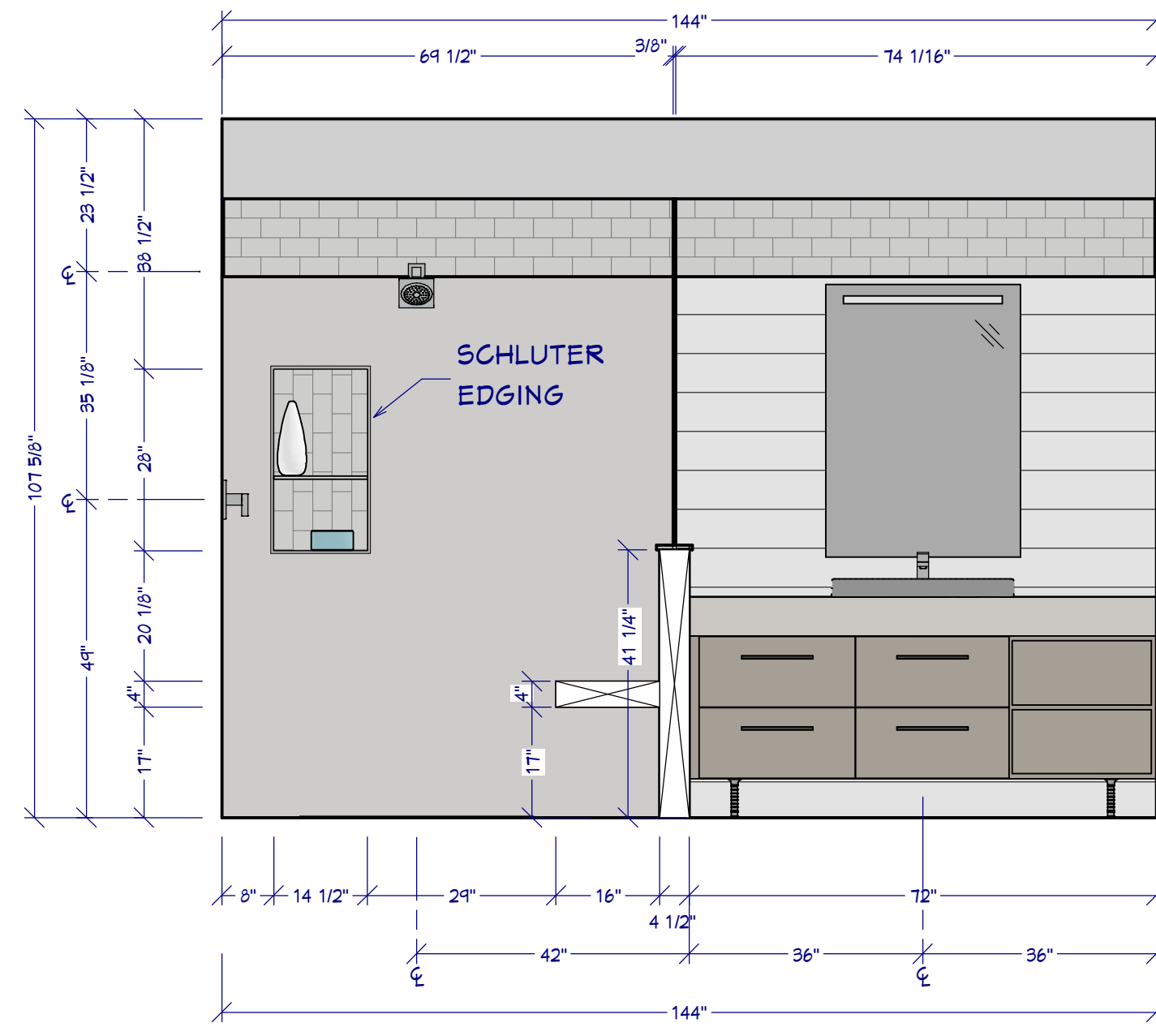
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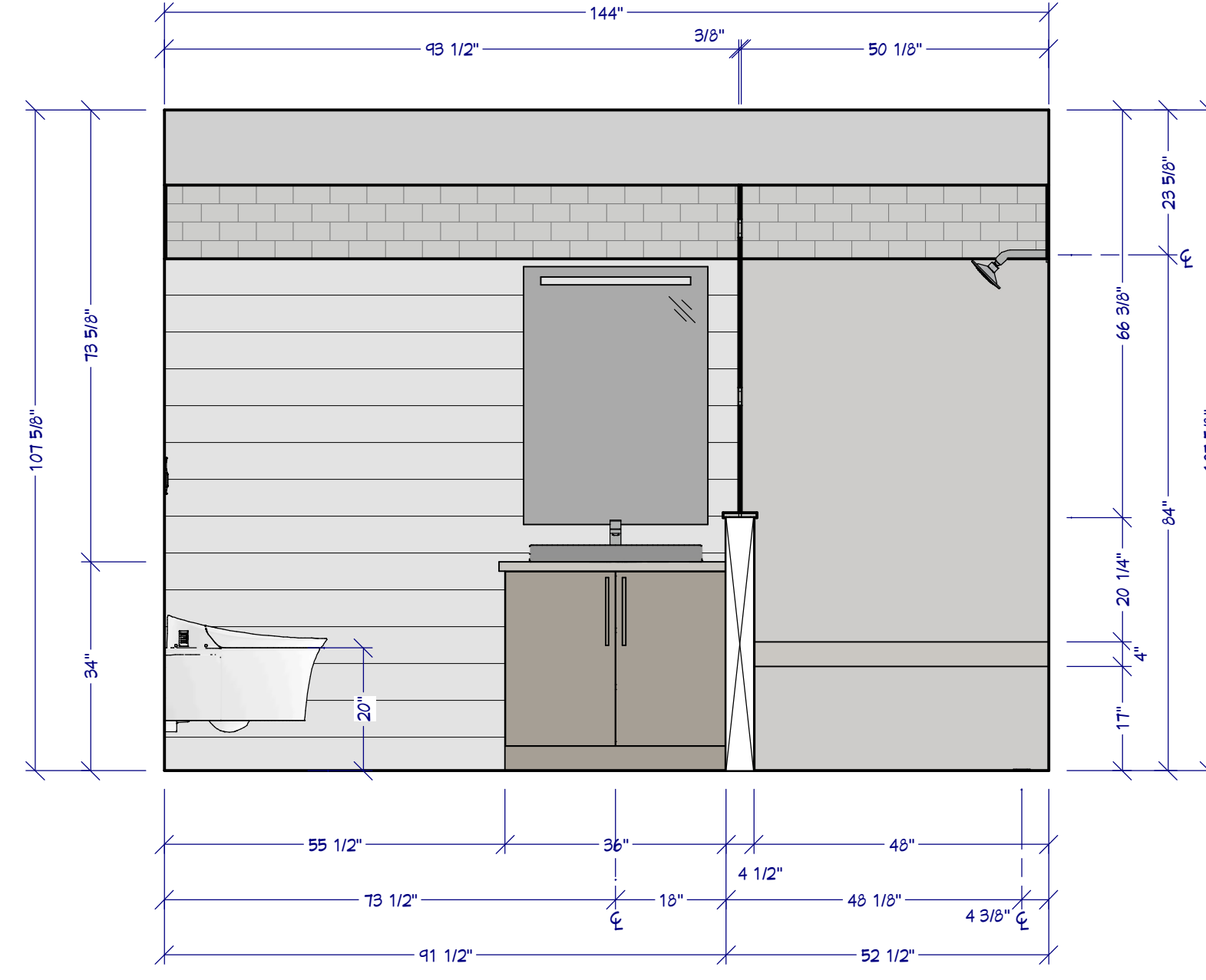




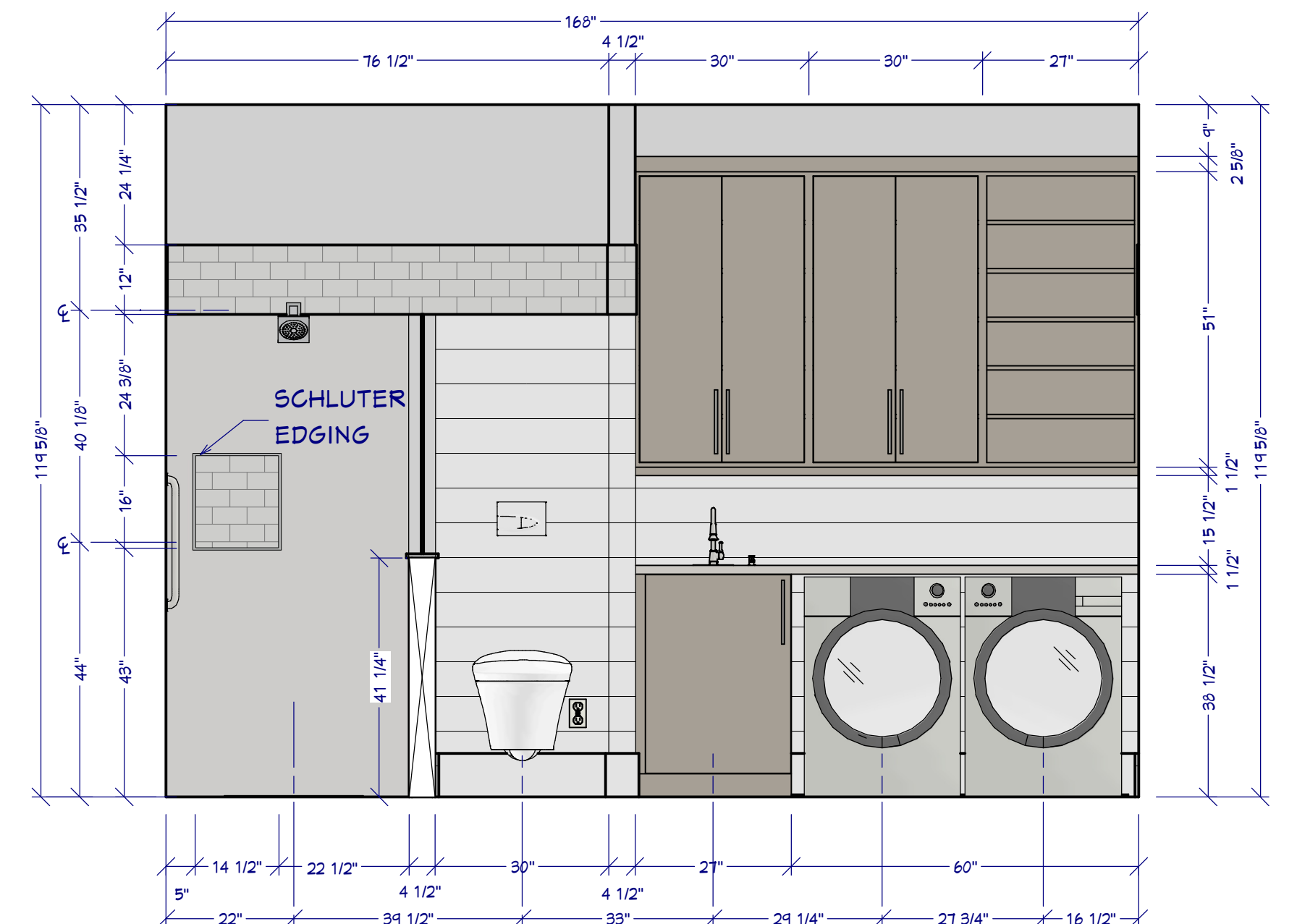
B3 POWDER ELEVATION
1/2"=1'



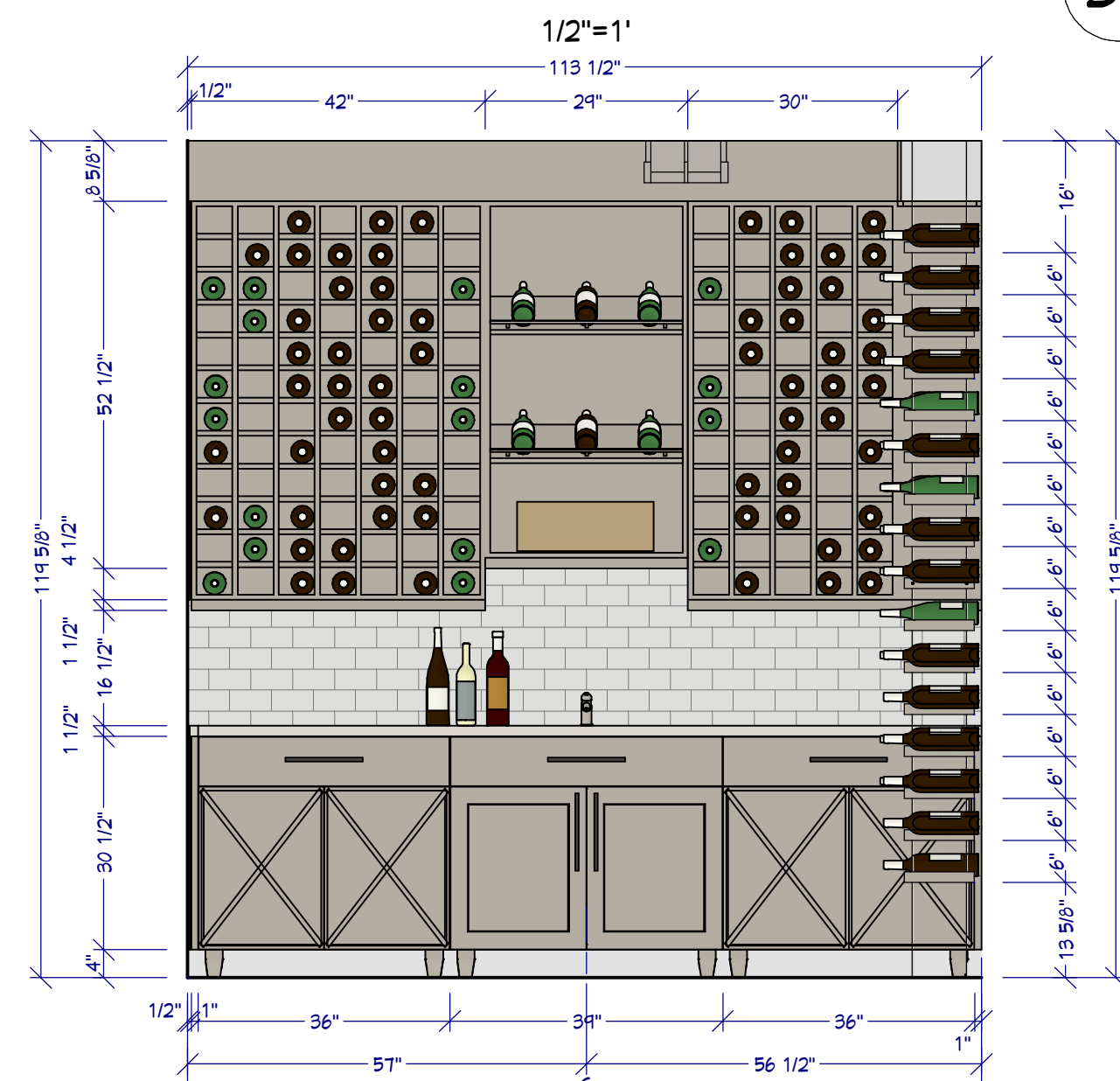
B4 BATH SUITE2 ELEVATION
1/2"=1'



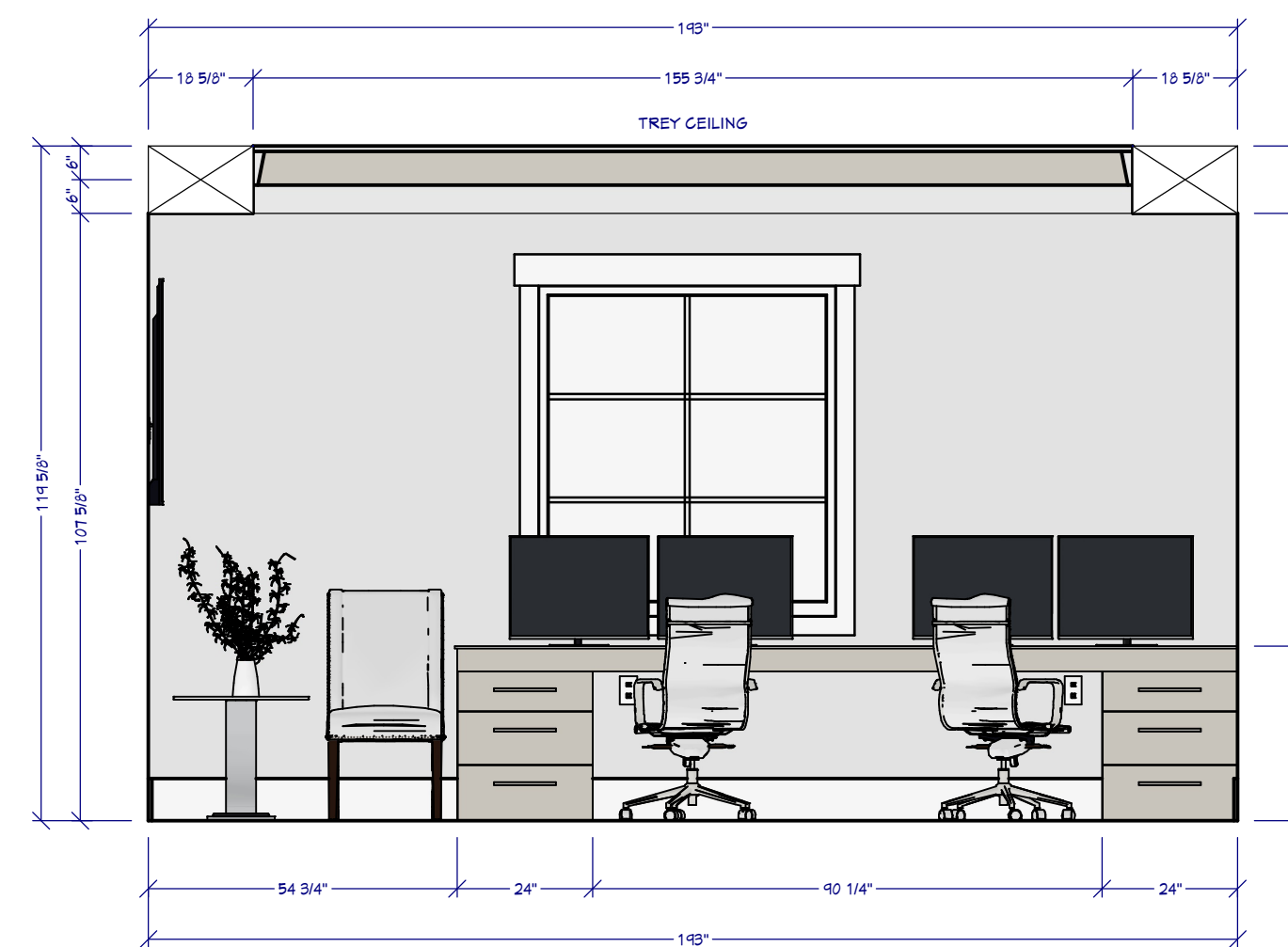
B5 BATH3 ELEVATION
1/2"=1'



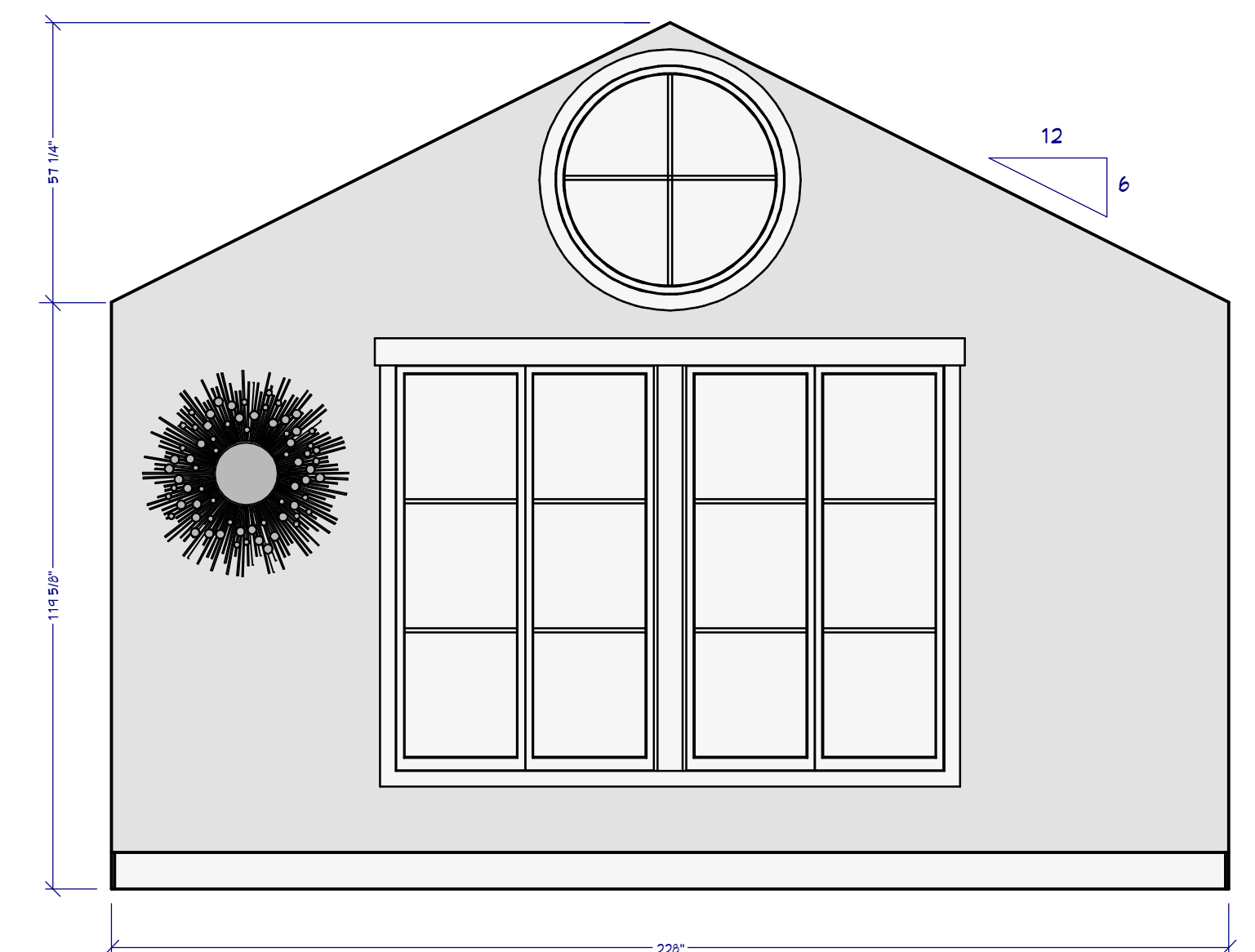
L3 LAUNDRY ELEVATION
1/2"=1'



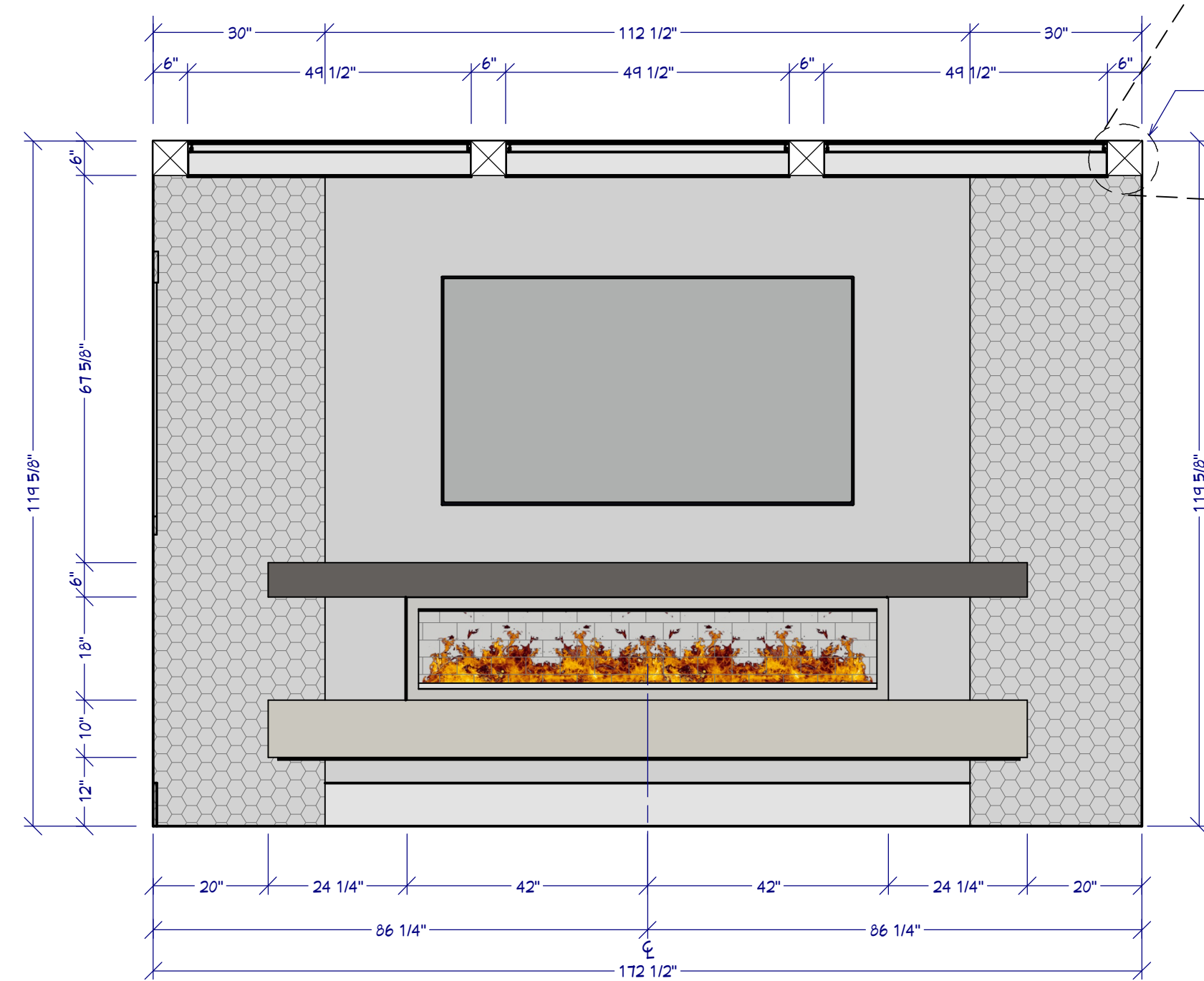
L8 WINE ROOM ELEVATION
1/2"=1'



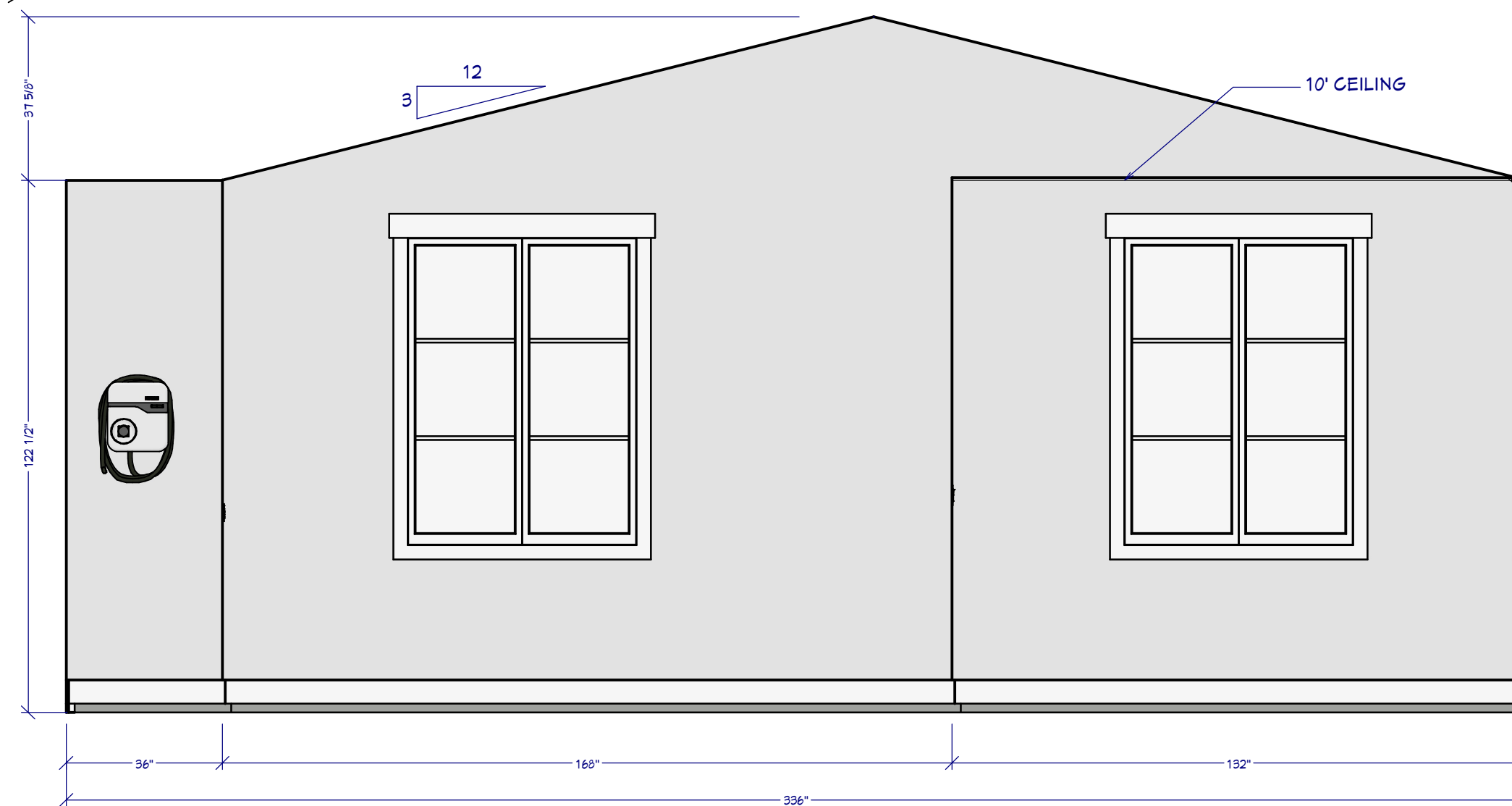
L4 OFFICE ELEVATION
3/8"=1'



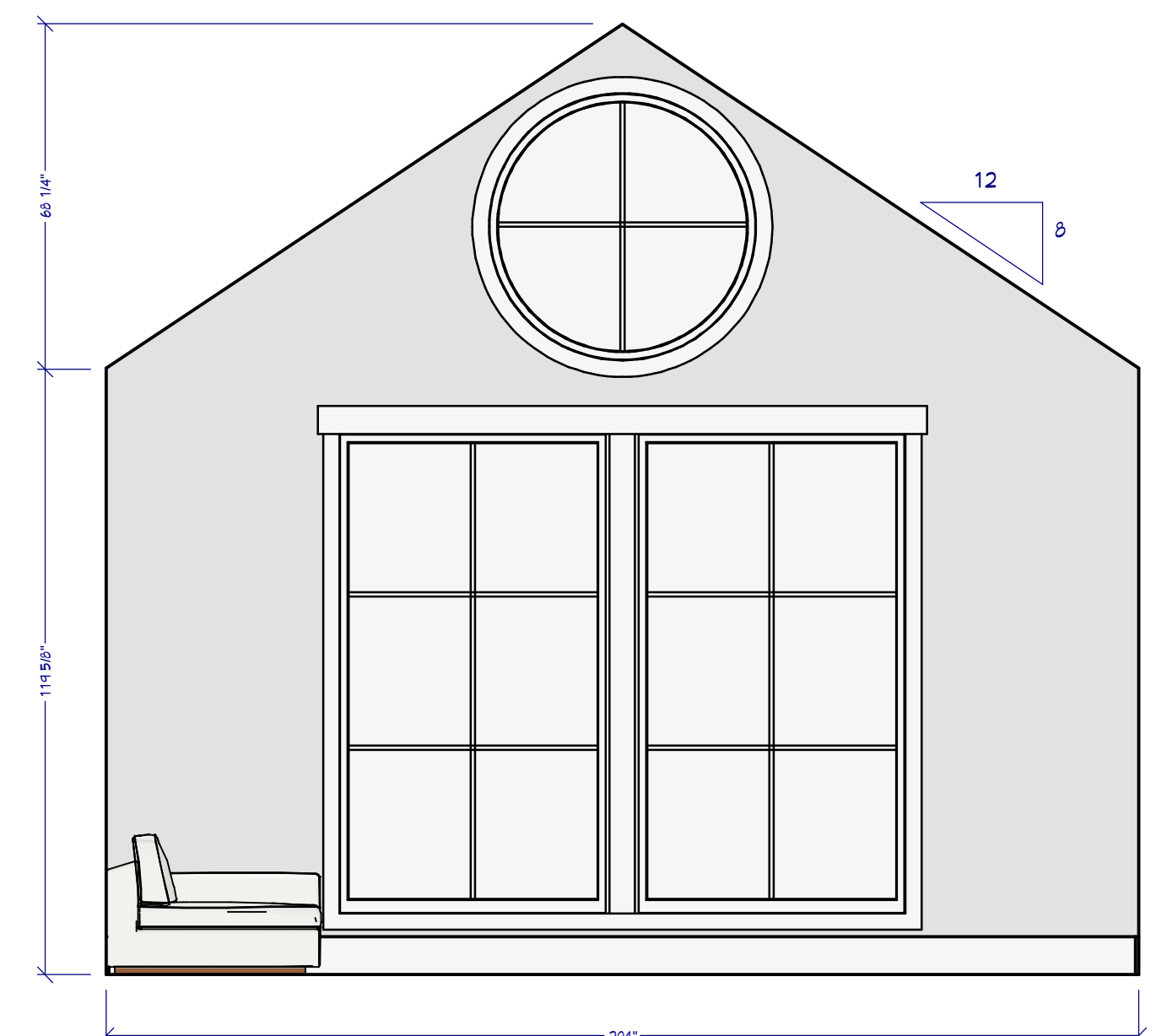
L2 BEDROOM SUITE1 ELEVATION
3/8"=1'



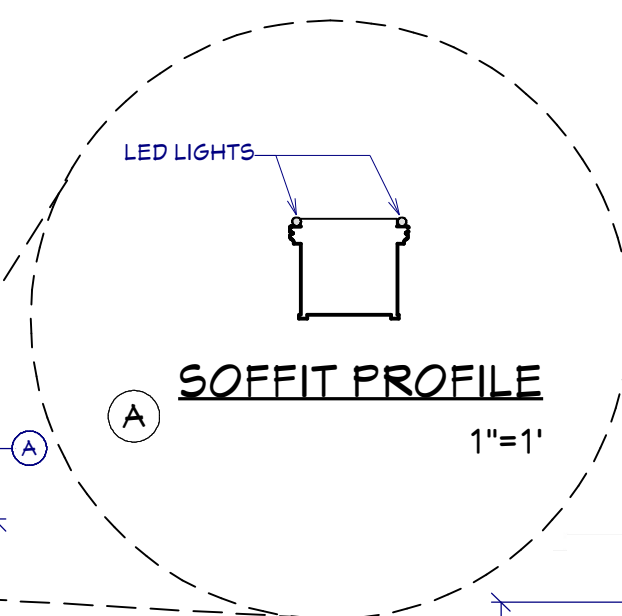
L1 LIVING ELEVATION
1/2"=1'

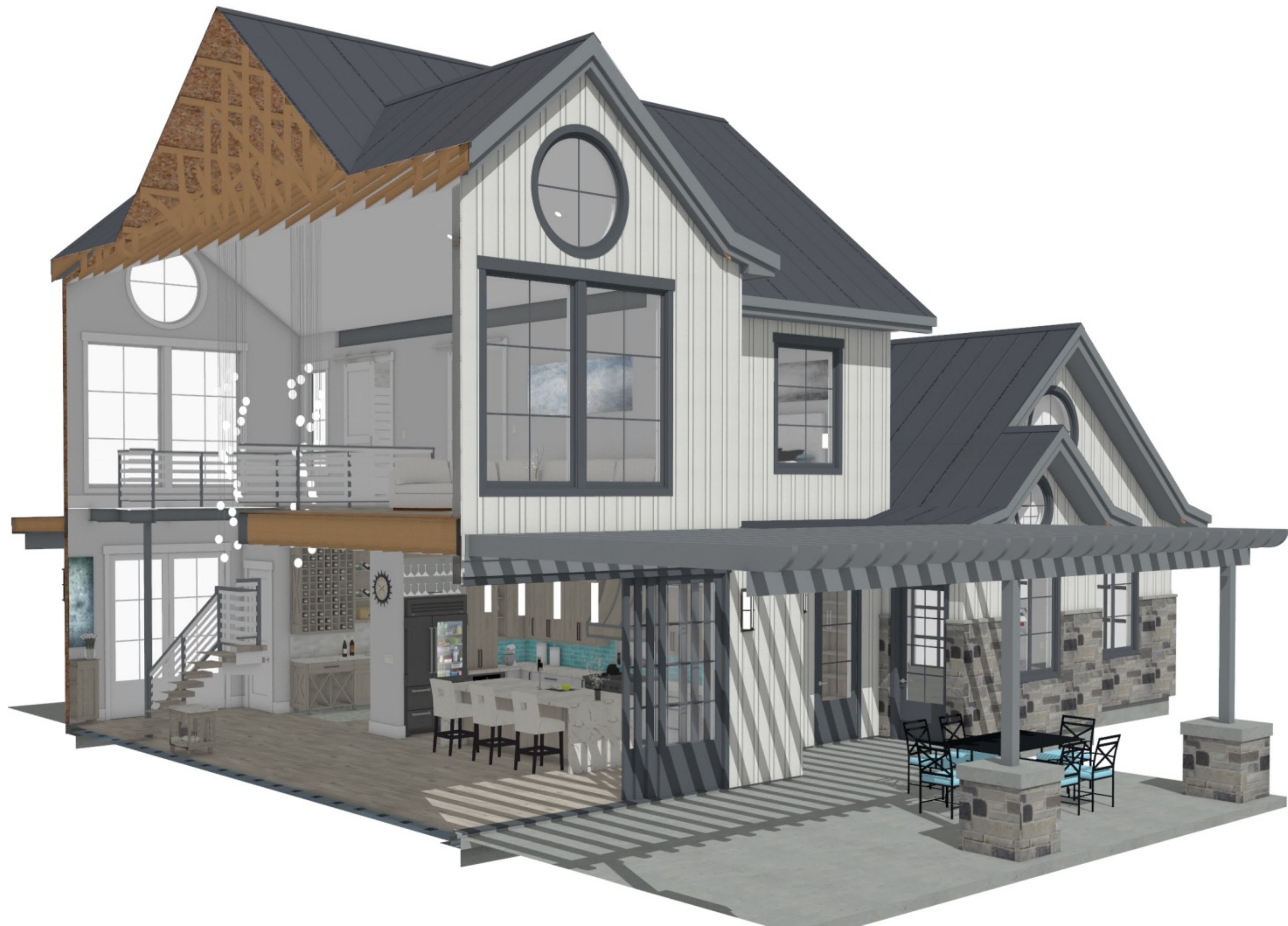


L7 GARAGE ELEVATION
3/8"=1'

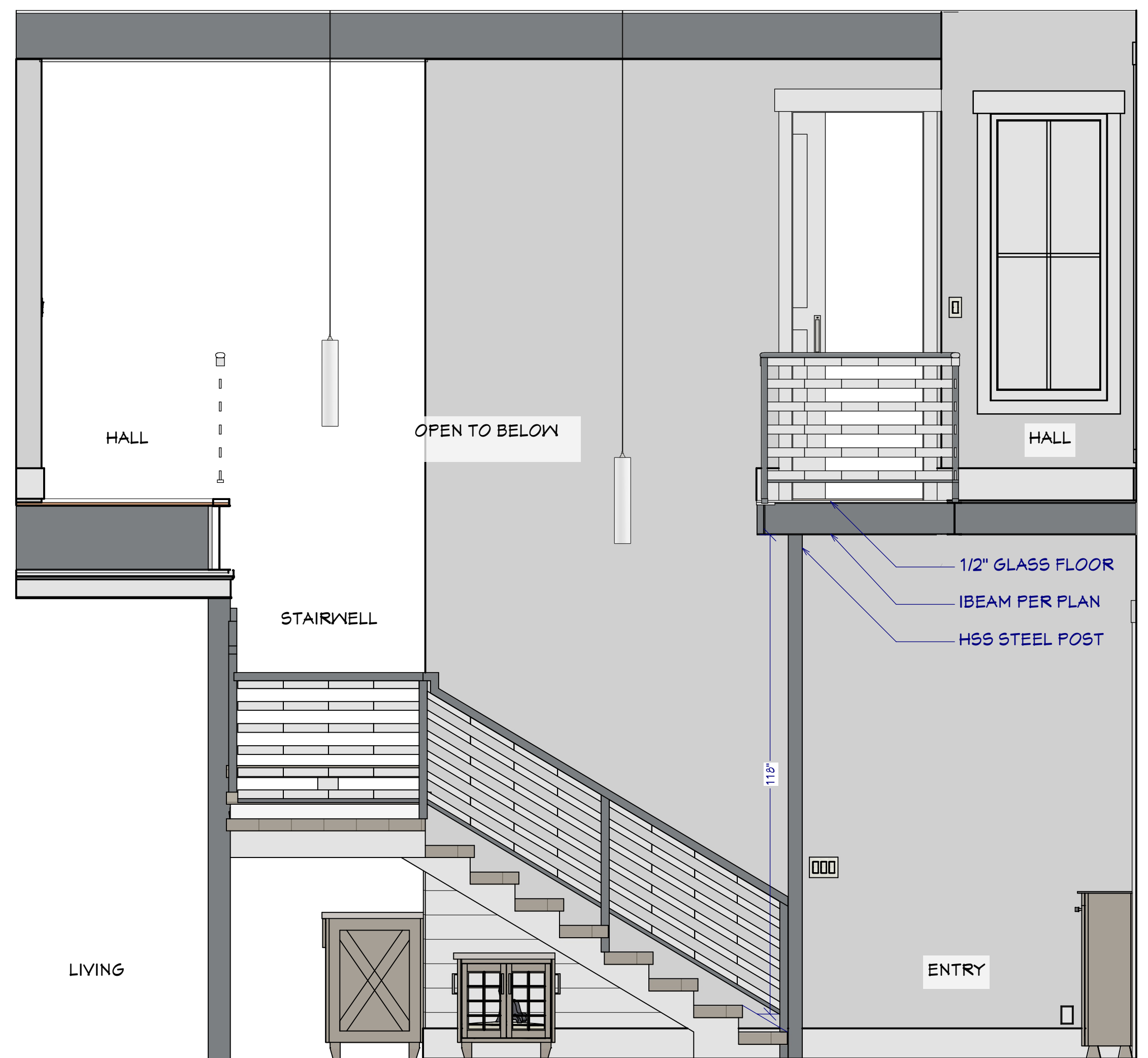


L5 ENTERTAINMENT ELEVATION
3/8"=1'





3D CUT-AWAY RENDER
FOR ILLUSTRATION ONLY NO SCALE



L6 ENTRY / STAIRWAY ELEVATION
1/2"=1'



ENTRY TO ABOVE RENDER
FOR ILLUSTRATION ONLY NO SCALE

SHEET NUMBER
16

SCALE @ 24" X 36"
DATE:
DRAWN BY: S.H.

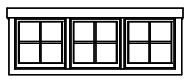





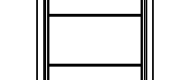


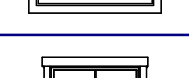

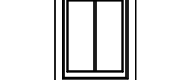
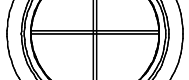

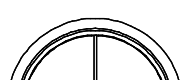
**ELEVATIONS &
PERSPECTIVES**

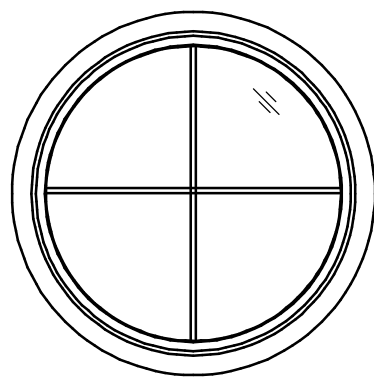
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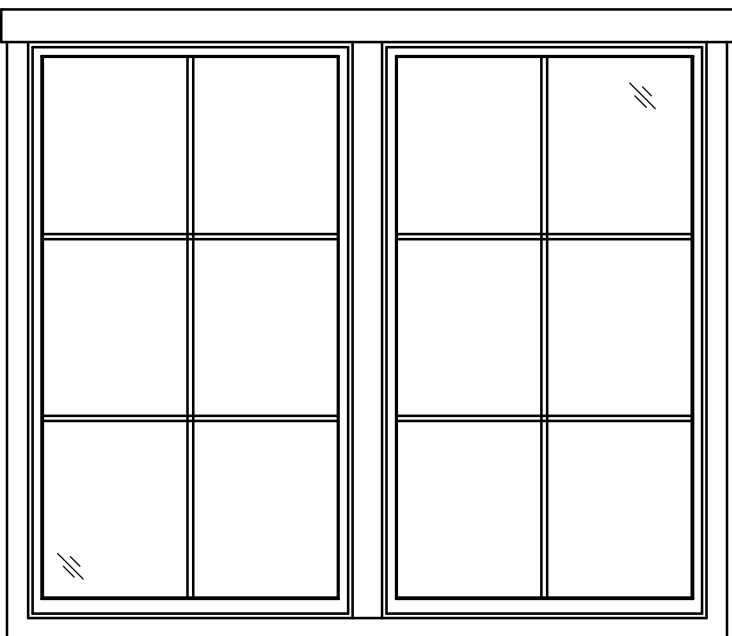


WINDOW & SKYLIGHT SCHEDULE

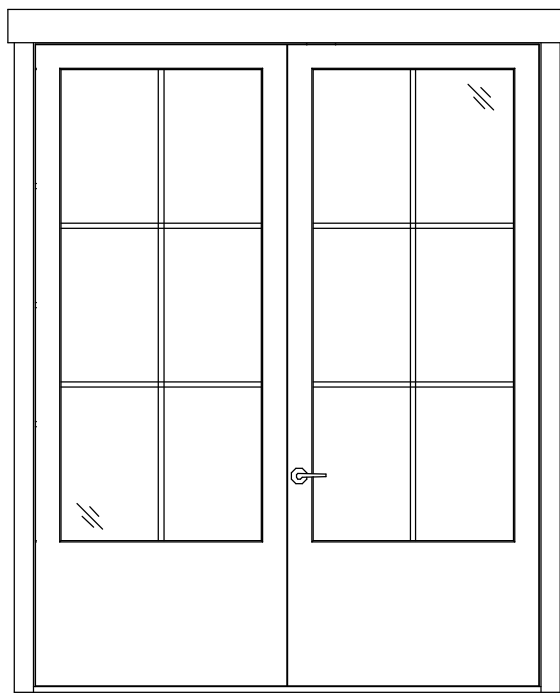
| WINDOW SCHEDULE | | | | | | |
|---|--------|-----|--------|---------|--------|--------------------------|
| 3D EXTERIOR ELEVATION | NUMBER | QTY | SIZE | WIDTH | HEIGHT | DESCRIPTION |
|  | W01 | 2 | 11026 | 94" | 30" | MULLED WINDOW |
|  | W02 | 3 | 4680FX | 94" | 42" | FIXED GLASS |
|  | W03 | 1 | 4680SC | 94" | 60" | SINGLE CASEMENT-HR |
|  | W04 | 1 | 4680SC | 94" | 72" | SINGLE CASEMENT-HR |
|  | W05 | 4 | 4680SC | 94" | 72" | DOUBLE CASEMENT-LH/RH-HR |
|  | W06 | 1 | 4670SC | 94" | 94" | SINGLE CASEMENT-HR |
|  | W07 | 1 | 4670SC | 94" | 94" | SINGLE CASEMENT-HL |
|  | W08 | 4 | 4680SC | 94" | 72" | SINGLE CASEMENT-HR |
|  | W09 | 4 | 4680FX | 94" | 96" | FIXED GLASS |
|  | W10 | 4 | 2680FX | 30" | 72" | FIXED GLASS |
|  | W11 | 2 | 3030FX | 36" | 36" | FIXED GLASS-CT |
|  | W12 | 2 | 4040FX | 48" | 48" | FIXED GLASS-CT |
|  | W13 | 2 | 4648FX | 94" | 94" | FIXED GLASS-CT |
|  | W14 | 2 | 4648FX | 94" | 94" | FIXED GLASS-CT |
|  | W15 | 3 | 11136 | 22 1/2" | 42" | SKYLIGHT |



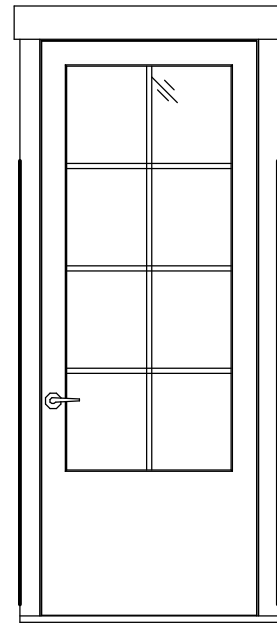
ROUND WINDOW



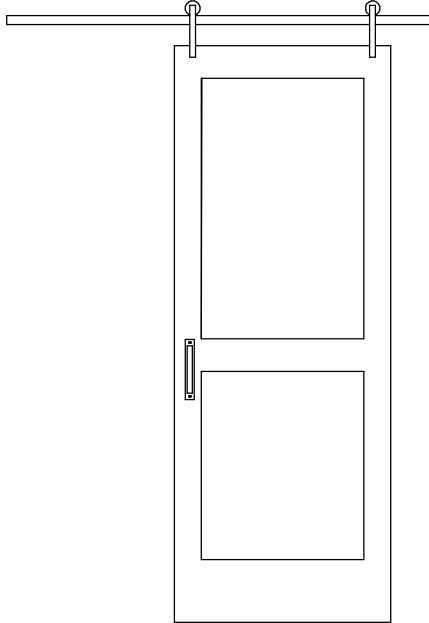
MULLED WINDOW



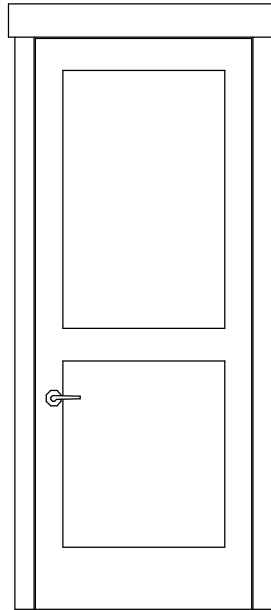
ENTRY DOOR UNIT



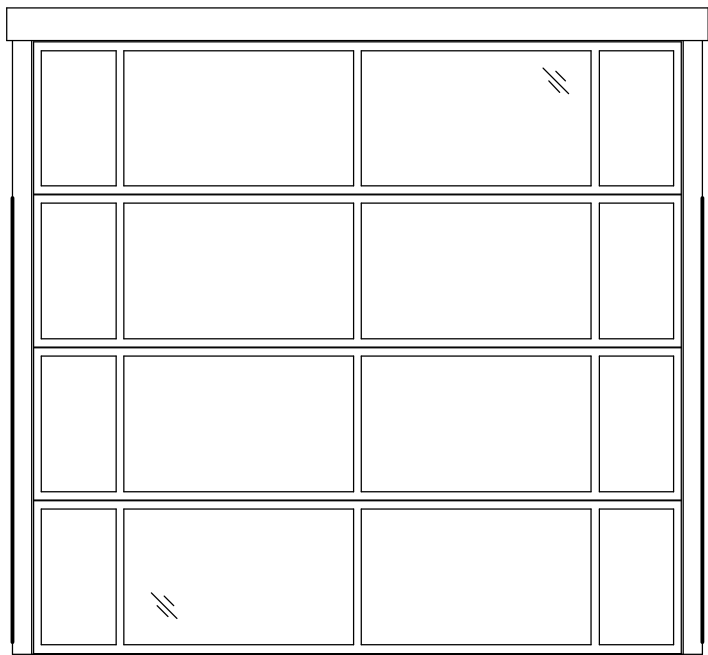
EXTERIOR DOOR



BARN DOOR



INTERIOR DOOR



GARAGE DOOR

WINDOW NOTES:

- 1 WOOD WINDOWS WITH CLAD EXTERIOR
- 2 INTERIOR WINDOW MATERIALS: PAINTED OR STAINED WITH FACTORY FINISH, VERIFY WITH OWNER
- 3 WINDOW HARDWARE TO BE OWNER SELECTED AT TIME OF ORDER
- 4 WINDOW ROUGH OPENING: 1/2" FOR TOP/ BOTTOM & 1/2" FOR SIDES, UNO BY MFG
- 5 SEE WINDOW SCHEDULE CALLOUT FOR WINDOWS THAT USE A WOOD OR STEEL BEAM FOR THE HEADER
- 6 BEDROOM WINDOWS SILL FINISHED MUST BE WITHIN 44: OF THE FLOOR AND PROVIDE MINIMUM CLEAR OPENINGS OF 5.7 SQ. FEET WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20" - HRC R310.1-R310.1.4

WINDOW FLASHING DETAIL



BASIC WINDOW FLASHING INSTALLATION*

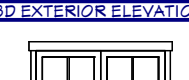


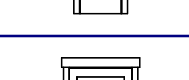
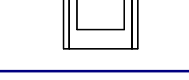
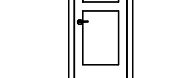
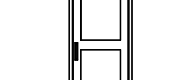
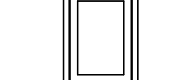
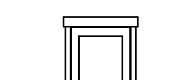




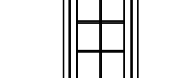
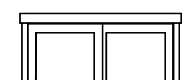

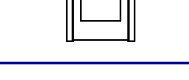
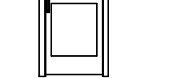
- 1) PREPARE ROUGH OPENING: CUT STND. "I-CUT" IN THE WRB. CUT (2) 45° SLITS AT TOP TO CREATE FLAP. APPLY FLEXIBLE FLASHING AT SILL + 6" MIN. UP JAMBS. SECURE FLEXED EDGE OF FLASHING WITH MECHANICAL FASTENERS.
- 2) INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS.
- 3) APPLY FLASHING TAPE AT JAMBS, EXTENDING 1" ABOVE AND BELOW WINDOW HEAD FLANGE AND BOTTOM OF SILL FLASHING. APPLY FLASHING TAPE ALONG HEAD, EXTENDING BEYOND OUTER EDGES OF JAMB FLASHING.
- 4) REPLACE WRB FLAP AT HEAD AND TAPE REMAINING CUTS IN WRB

*REVISE INSTALLATION PROCESS ACCORDING TO WINDOW MANUFACTURER'S INSTRUCTIONS

DOOR NOTES:

- 1. DOORS SHALL BE 96", UNO
- 2. ALL DOORS SHALL BE SOLID CORE 1 3/4" THICK, UNO
- 3. INTERIOR DOORS SHALL BE PAINTED OR STAINED, VERIFY WITH OWNER
- 4. DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1 3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING
- 5. EXTERIOR EXIT DOORS SHALL BE 36" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE
- 6. GARAGE DOORS TO BE SECTIONAL INSULATED, OVERHEAD DOORS. GLASS PANELS TO BE INSULATED
- 7. ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING
- 8. ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS
- 9. BARN DOORS, MEASURE TO FIT OPENING. ALL HARDWARE TO BE STAINLESS, UNO

DOOR SCHEDULE

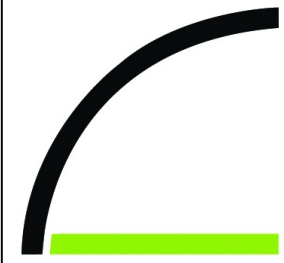
| DOOR SCHEDULE | | | | | | |
|---|--------|-----|-------|--------|-----------------------------------|-------|
| 3D EXTERIOR ELEVATION | NUMBER | QTY | WIDTH | HEIGHT | DESCRIPTION | FLOOR |
|  | D01 | 1 | 94" | 100" | EXT. DOUBLE HINGED-GLASS PANEL | 1 |
|  | D02 | 1 | 168" | 100" | EXT. 2-4 PANEL SLIDER-GLASS PANEL | 1 |
|  | D03 | 1 | 24" | 96" | HINGED-DOOR P03 | 1 |
|  | D04 | 1 | 36" | 96" | HINGED-DOOR P03 | 1 |
|  | D05 | 1 | 30" | 96" | HINGED-DOOR P03 | 1 |
|  | D06 | 1 | 92" | 96" | POCKET-DOOR P03 | 1 |
|  | D07 | 1 | 36" | 96" | EXT. HINGED-DOOR P03 | 1 |
|  | D08 | 1 | 94" | 96" | HINGED-DOOR P03 | 1 |
|  | D10 | 1 | 36" | 96" | POCKET-GLASS PANEL | 1 |
|  | D11 | 1 | 60" | 96" | DOUBLE BARN-GLASS PANEL | 1 |
|  | D12 | 2 | 94" | 96" | BARN-DOOR P03 | 1 |
|  | D13 | 4 | 36" | 96" | EXT. HINGED-GLASS PANEL | 1 |
|  | D14 | 1 | 94" | 96" | SLIDER-DOOR P03 | 1 |
|  | D15 | 1 | 92" | 96" | POCKET-DOOR P03 | 2 |
|  | D16 | 5 | 94" | 96" | BARN-DOOR P03 | 2 |
|  | D17 | 1 | 60" | 80" | SLIDER-DOOR P03 | 2 |
|  | D21 | 1 | 108" | 102" | GARAGE-GLASS-PANEL GARAGE DOOR | 1 |
|  | D22 | 1 | 216" | 102" | GARAGE-GLASS-PANEL GARAGE DOOR | 1 |

DOOR & WINDOW SCHEDULE

112715 Tuckman Ln.
Nashville, TN 37205
NASHVILLE

Chief Architect
6500 N. Mineral Dr. Coeur d'Alene, ID 83815
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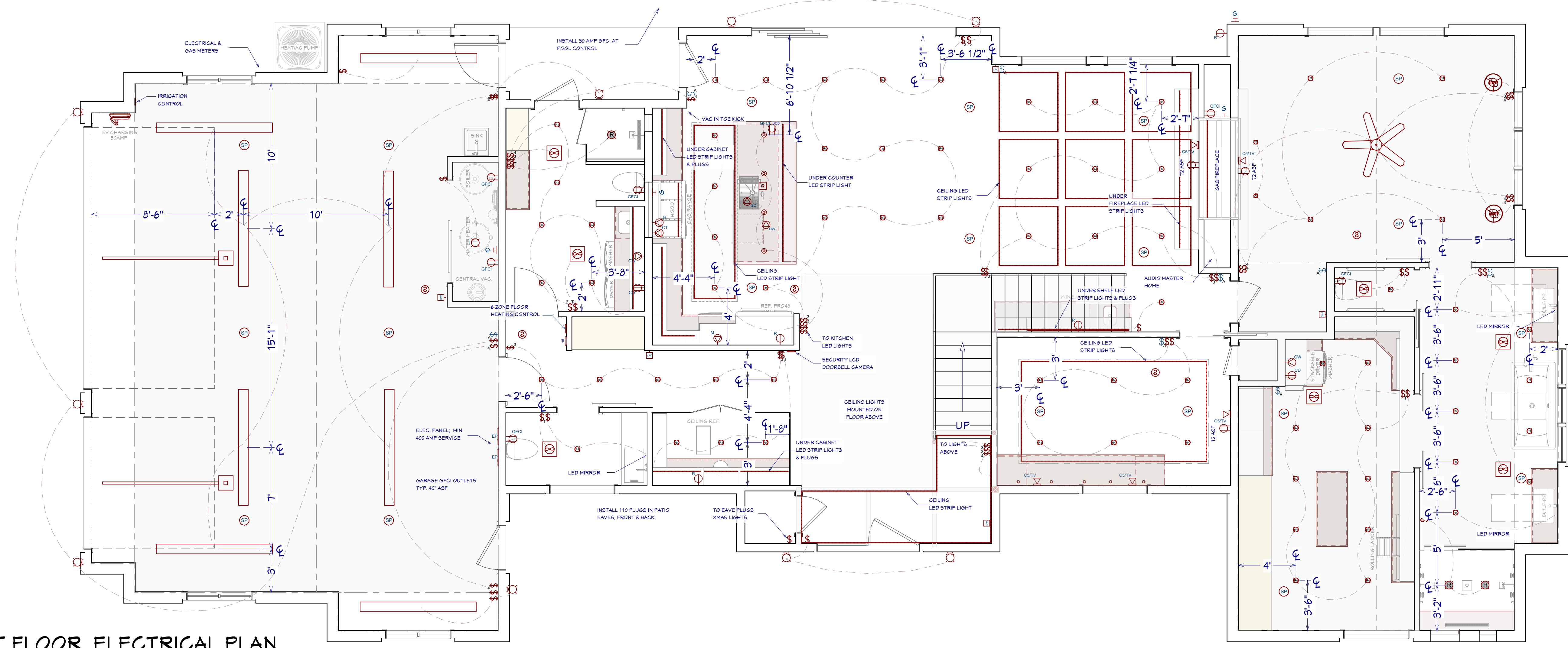
SHEET NUMBER
17
SCALE @ 24" X 36"
DATE:
DRAWN BY: S.H.



ELECTRICAL PLAN

112715 Tuckman Ln.
Nashville, TN 37205
NASHVILLE

1ST FLOOR ELECTRICAL PLAN
1/4"=1'

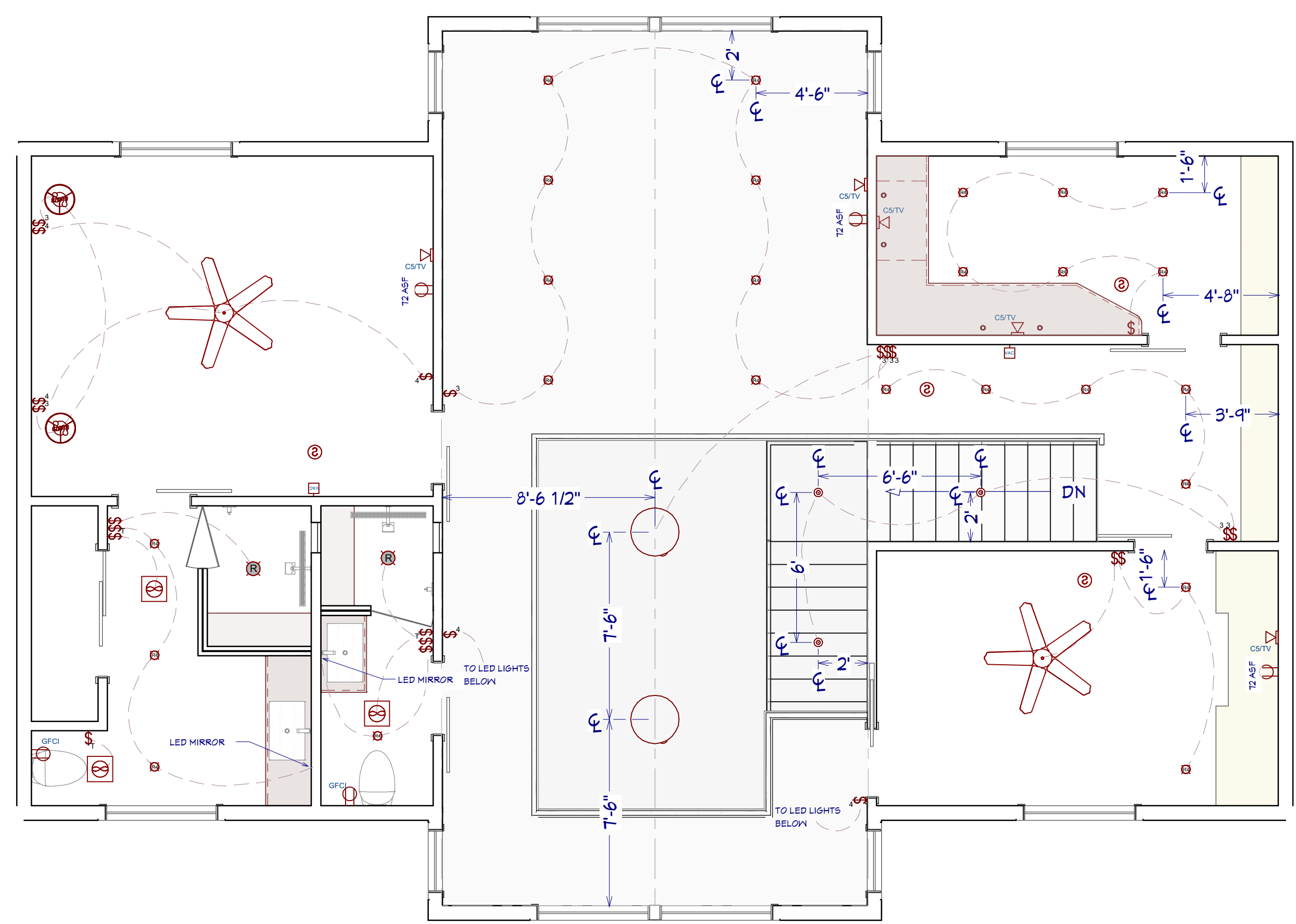


GENERAL NOTES:

SUB CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION & PERMITS, MUST BE LICENSED, BONDED AND APPROVED BY THE BUILDING DEPT.

ELECTRICAL:
ELECTRICAL OUTLETS IN ROOMS SHALL BE INSTALLED PER CODE TYP.
HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, VACUUM, ETC.
PROVIDE MIN. 400 AMP SERVICE TO MAIN PANEL(S)
ALL APPLIANCES & UTILITIES TO HAVE DEDICATED CIRCUITS. SEE MFG'S SPECS. FOR REQUIREMENTS
ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, FOUNDATION AND GARAGE SHALL BE G.F.C.I.
PER NATIONAL ELECTRICAL CODE REQUIREMENTS
ALL BEDROOM OUTLETS AND LIGHTS BE ARCH FAULT PROTECTED
ALL VENTILATION FANS SHALL BE ON TIMER SWITCHES, UNO.
PROVIDE ONE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
FIXTURES TO BE SELECTED BY HOME OWNER.
UNO - ALL SWITCHES TO BE 48" ASF. INTERIOR OUTLETS TO BE 15" ASF. OUTLETS OVER COUNTERTOPS TO BE 3" ABOVE COUNTER FROM BOTTOM. GARAGE OUTLETS TO BE 40" ASF.(ASF = ABOVE SUBFLOOR)
ALL LIGHTING SHALL BE DIMABLE AND USE LED, UNO.
AUDIO:
LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.
DATA / CABLE:
LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

2ND FLOOR PLAN ELECTRICAL PLAN
1/4"=1'



ELECTRICAL LEGEND

- LIGHTING**
- Ⓡ Ⓡ Ⓡ RECESSED 4" & 6" CANS / WET RATED
 - Ⓡ Ⓡ Ⓡ PENDANTS / WALL LAMP / SCONCE
 - Ⓡ Ⓡ Ⓡ UNDER CABINET LED PUCK / LED STRIP / CEILING LED
 - Ⓡ Ⓡ Ⓡ FAN / FAN LIGHT. 200 CFM MIN.
 - Ⓡ Ⓡ Ⓡ CEILING FAN W/ LIGHT
- SWITCHES / OUTLETS**
- Ⓡ Ⓡ Ⓡ SWITCH / 3-WAY / 4-WAY / TIMER
 - Ⓡ Ⓡ Ⓡ OUTLETS - LED LIGHT / USB 5V & 120V / 120V WALL & CEILING GFCI / WATER PROOF / 220V
 - Ⓡ Ⓡ Ⓡ APPLIANCE SPECIFIC: REFRIGERATOR / MICROWAVE / DISH WASHER / DISPOSAL
 - Ⓡ Ⓡ Ⓡ COOK HOOD / WASHER / DRYER / WALL OVEN
- OTHER MEP**
- Ⓡ Ⓡ Ⓡ CAT5 / CAT5 & COAX RG6Q5 / CENTRAL VAC / HOME SECURITY PANEL
 - Ⓡ Ⓡ Ⓡ SMOKE DETECTOR / THERMOSTAT / GAS CONNECTION / DOOR BELL
 - Ⓡ Ⓡ Ⓡ WALL CONTROLLED VOLUME SWITCH / IN-WALL OR CEILING MOUNTED SPEAKERS



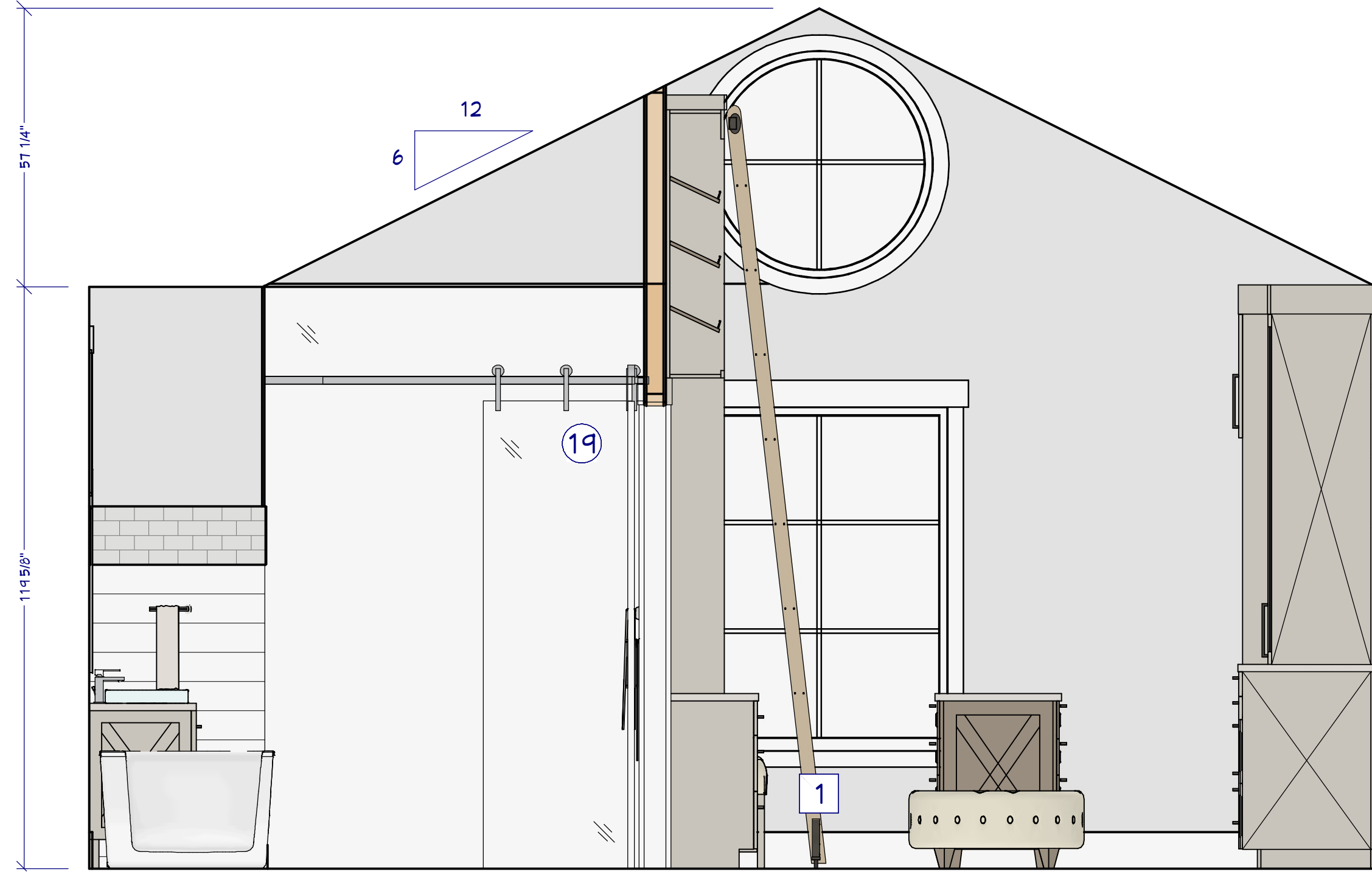
1. SUB CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION & PERMITS, MUST BE LICENSED, BONDED AND APPROVED BY THE BUILDING DEPT.
2. HVAC SHALL HAVE TWO ZONES, ONE FOR EACH FLOOR:
 - a. FLOOR ONE SHALL HAVE HYDRONIC RADIANT FLOOR HEAT WITH AC PROVIDED BY A HEAT PUMP
 - b. FLOOR TWO SHALL USE A HEAT PUMP(S) FOR HEAT AND AC
3. INSULATE HEATING TRUNK AND BRANCH SUPPLY DUCTS IN UNFINISHED AREAS, CRAWL SPACES, ATTICS GARAGES, ETC
4. ALL DUCTING SHALL BE THRU FLOOR TRUSSES / JOISTS
5. ALL FLEX TUBING FOR RADIANT HEAT SHALL BE INSTALLED OVER 2" XPS (Extruded Polystyrene foam)
6. radiant heat shall be Powered by a Six-zone Controller
7. ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS/TRUSSES SHALL HAVE CLEAR CROSS VENTILATION AREA TO THE OUTSIDE VENTS. 1/150 OF SPACE VENTILATED FOR GABLE VENTS. 1/3000 OF SPACE VENTILATED FOR BOTH GABLE AND EAVE VENTS.
8. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER. VENT DRYER VENT, MAX. LENGTH OF DUCT 14' WITH TWO 90 DEGREE ANGLES.
9. PROVIDE 30" CLEARANCE FROM RANGE TOP TO COMBUSTIBLE MATERIALS. FOR EXCEPTIONS, SEE INT. MECHANICAL CODE. SIDE CLEARANCE SHALL BE AS SPECIFIED BY PERMANENT MARKING ON THE UNIT. - IRC M1901.1
10. WATER CLOSETS TO HAVE A FLOW RATE OF 1.6 GALLONS OR LESS PER FLUSH - IRC P2903.2
11. SHOWER HEADS TO HAVE FLOW RATE OF 2.5 GALLONS PER MINUTE OR LESS. - IRC P2903.2
12. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE.
13. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 84" ABOVE SHOWER DRAINS.
14. WATER SOFTENER UNIT, IF INSTALLED, SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE. WATER TO REFRIGERATOR, KITCHEN AND BATH SINKS SHALL NOT HAVE CONDITION WATER.
15. EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE.
16. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
17. INSULATE WASTE LINES FOR SOUND CONTROL.
18. INSTALL CENTRAL VACUUM SYSTEM & PIPING AND INSULATE LINES FOR SOUND CONTROL. CONFIRM BRAND WITH HOMEOWNER.





RENDERING

FOR ILLUSTRATION ONLY NO SCALE



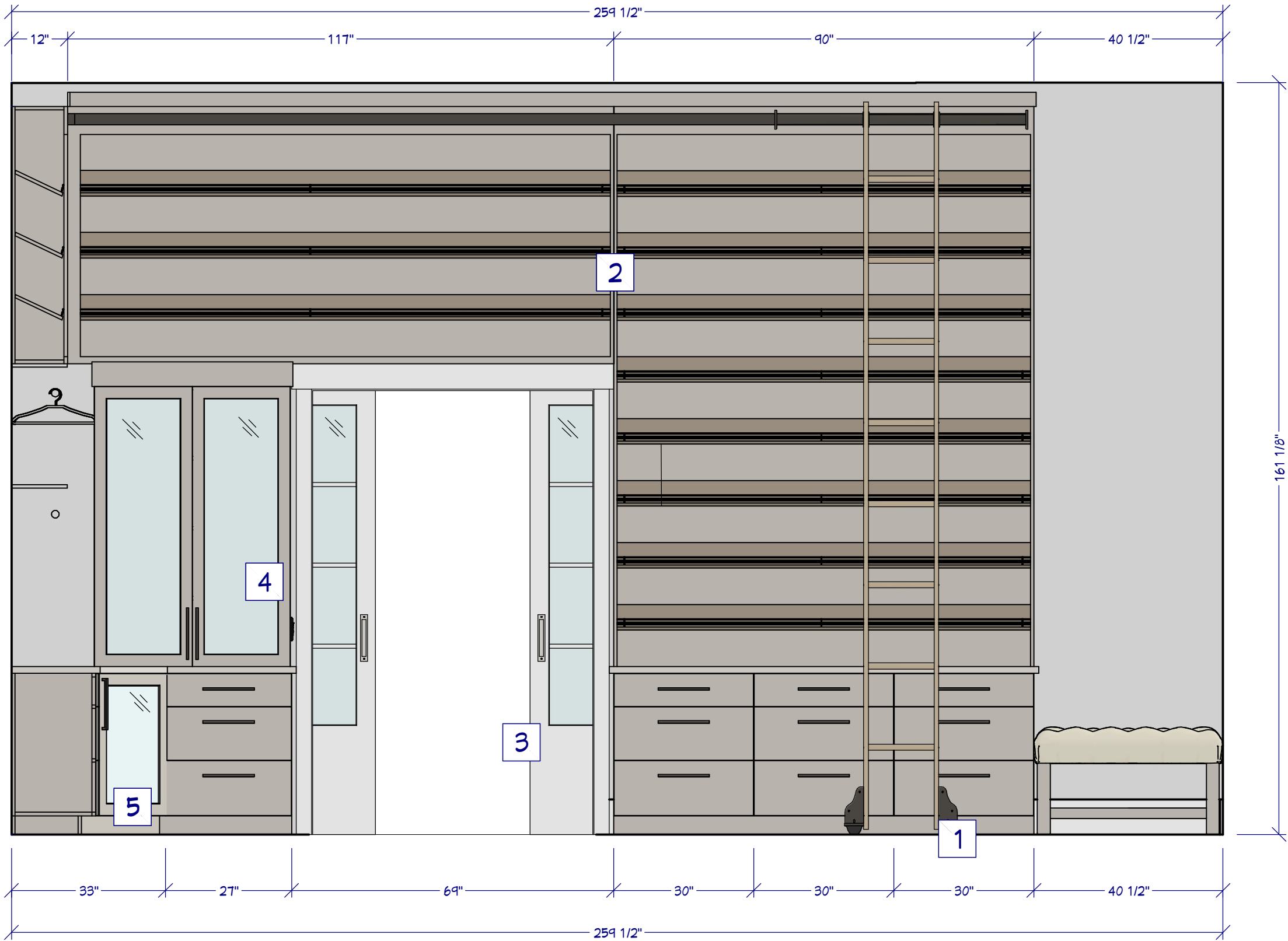
C3 CLOSET / BATH SUITE ELEVATION
1/2"=1'

CLOSET NOTES

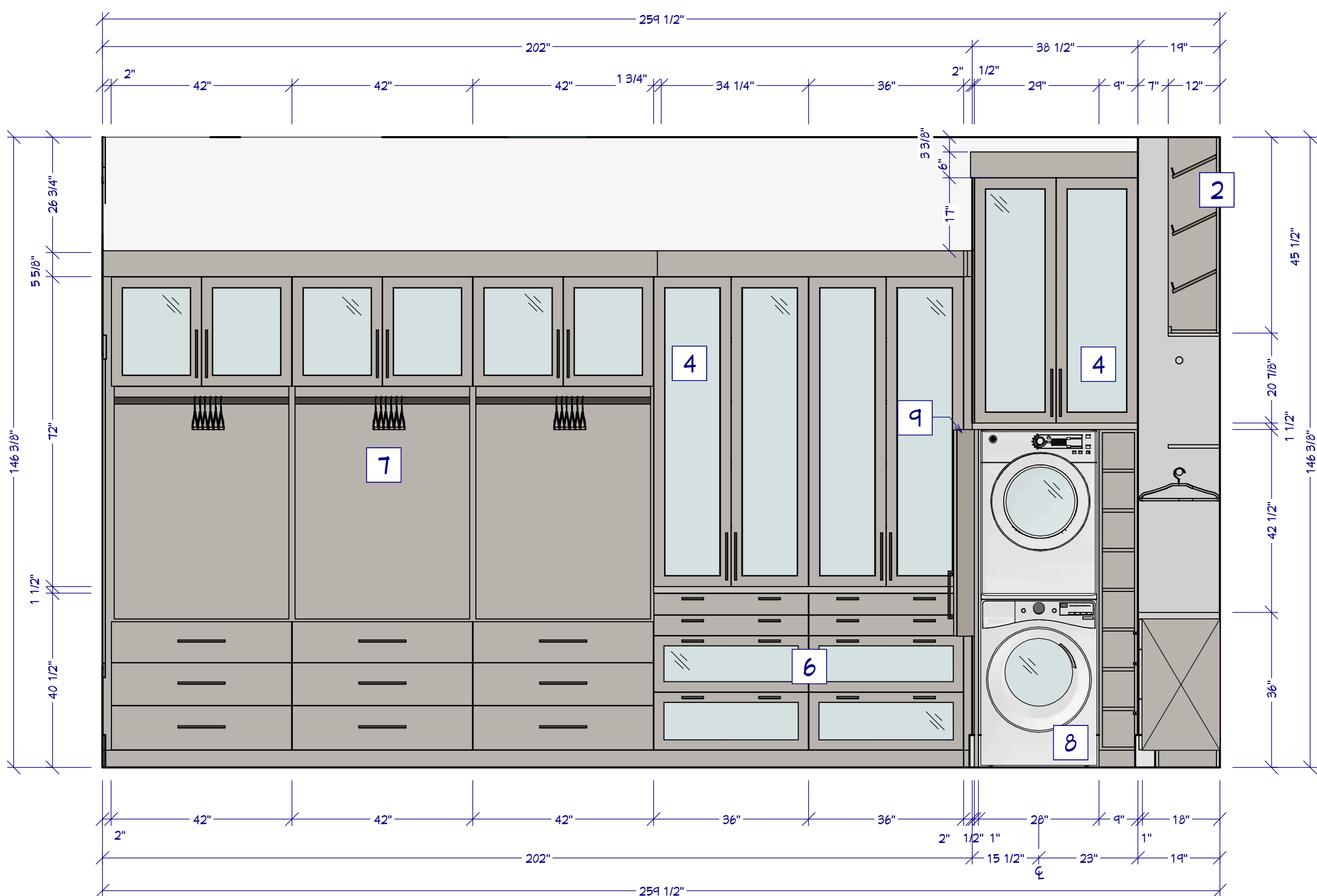
- 1 ROLLING LADDER
- 2 CUSTOM SHOE RACK
- 3 SLIDING POCKET DOORS
- 4 GLASS FRONT CLOTHING CABINET
- 5 CORNER GLASS FRONT
- 6 4DB - LOWER DRAWERS GLASS FRONT
- 7 FULL HEIGHT CLOTHING & DRAWER CABINET. GLASS DOORS
- 8 STACKABLE WASHER / DRYER
- 9 BUILT-IN IRON STATION

CABINET / FIXTURE SCHEDULE

| ITEM | QTY | DESCRIPTION | UNIT | PRICE | TOTAL |
|-------|-----|--------------|------|-------|-------|
| GL1 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL2 | 3 | SHOE CABINET | 3 | 12" | 36" |
| GL3 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL4 | 2 | SHOE CABINET | 2 | 12" | 24" |
| GL5 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL6 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL7 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL8 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL9 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL10 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL11 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL12 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL13 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL14 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL15 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL16 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL17 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL18 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL19 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL20 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL21 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL22 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL23 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL24 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL25 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL26 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL27 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL28 | 1 | SHOE CABINET | 1 | 12" | 12" |
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| GL30 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL31 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL32 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL33 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL34 | 1 | SHOE CABINET | 1 | 12" | 12" |
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| GL40 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL41 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL42 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL43 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL44 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL45 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL46 | 1 | SHOE CABINET | 1 | 12" | 12" |
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| GL50 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL51 | 1 | SHOE CABINET | 1 | 12" | 12" |
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| GL62 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL63 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL64 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL65 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL66 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL67 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL68 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL69 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL70 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL71 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL72 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL73 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL74 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL75 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL76 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL77 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL78 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL79 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL80 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL81 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL82 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL83 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL84 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL85 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL86 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL87 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL88 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL89 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL90 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL91 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL92 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL93 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL94 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL95 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL96 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL97 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL98 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL99 | 1 | SHOE CABINET | 1 | 12" | 12" |
| GL100 | 1 | SHOE CABINET | 1 | 12" | 12" |



C1 CLOSET SUITE ELEVATION
1/2"=1'



C2 CLOSET SUITE ELEVATION
1/2"=1'

SHEET NUMBER
20

SCALE @ 24" X 36"
DATE:
DRAWN BY: S.H.

CLOSET SUITE ELEVATIONS

112715 Tuckman Ln.
Nashville, TN 37205
NASHVILLE

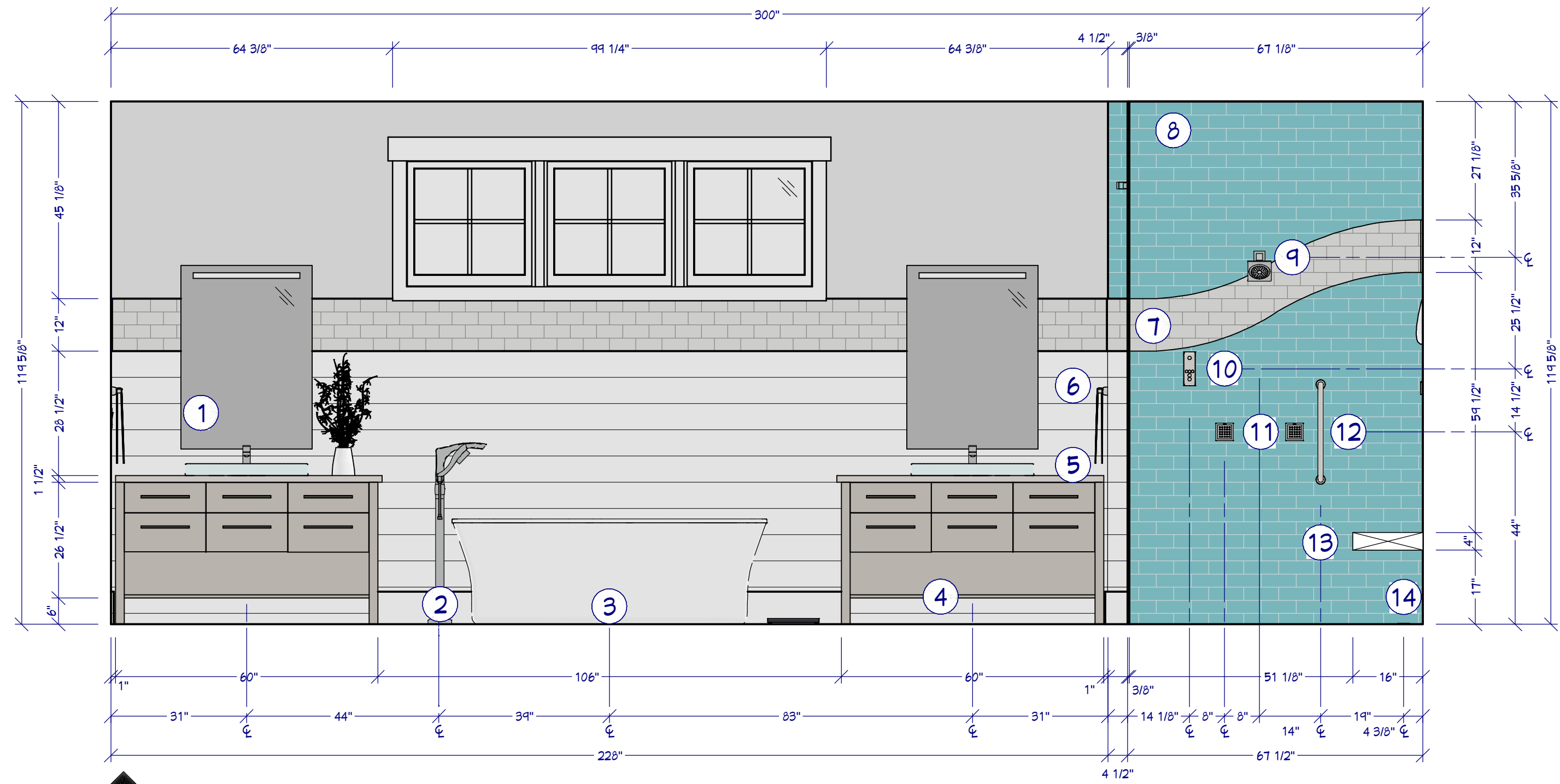
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BATH SUITE RENDER

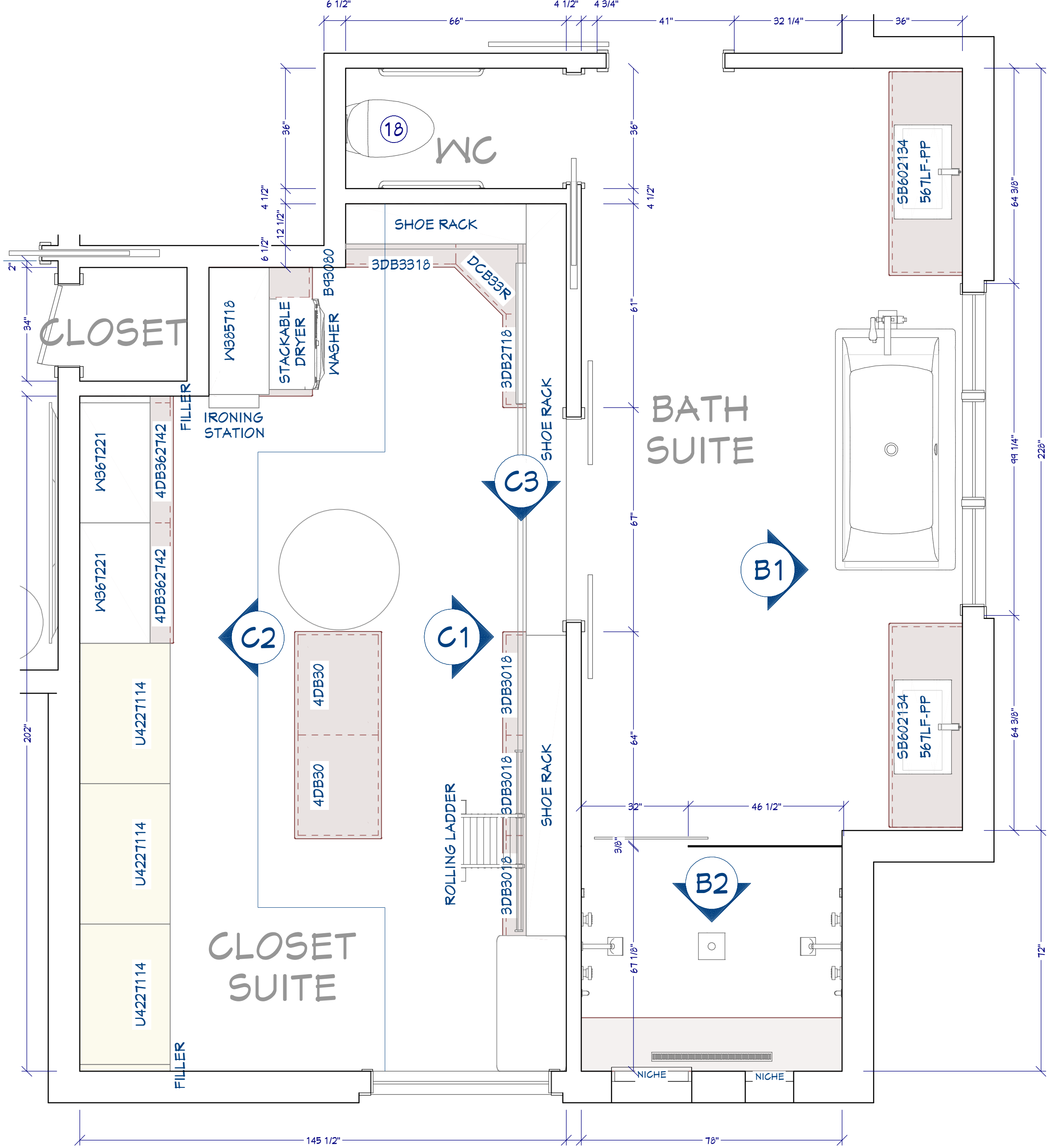
FOR ILLUSTRATION ONLY NO SCALE

-
-
-
-
-
-
-
- A MAPLE STAINED BENJAMIN MOORE AF-680
- B CAMBRIA HARROGATE
- C BENJAMIN MOORE 14T1 SHORELINE
- D WHITE SHIPLAP
- E MERCURY MOSAICS 130 WHITE - 3X6 SUBWAY
- F MERCURY MOSAICS 12W BLUE BELL - 3X8 SUBWAY
- G MERCURY MOSAICS 22E BLUE OPAL - MEDIUM DIAMONDS



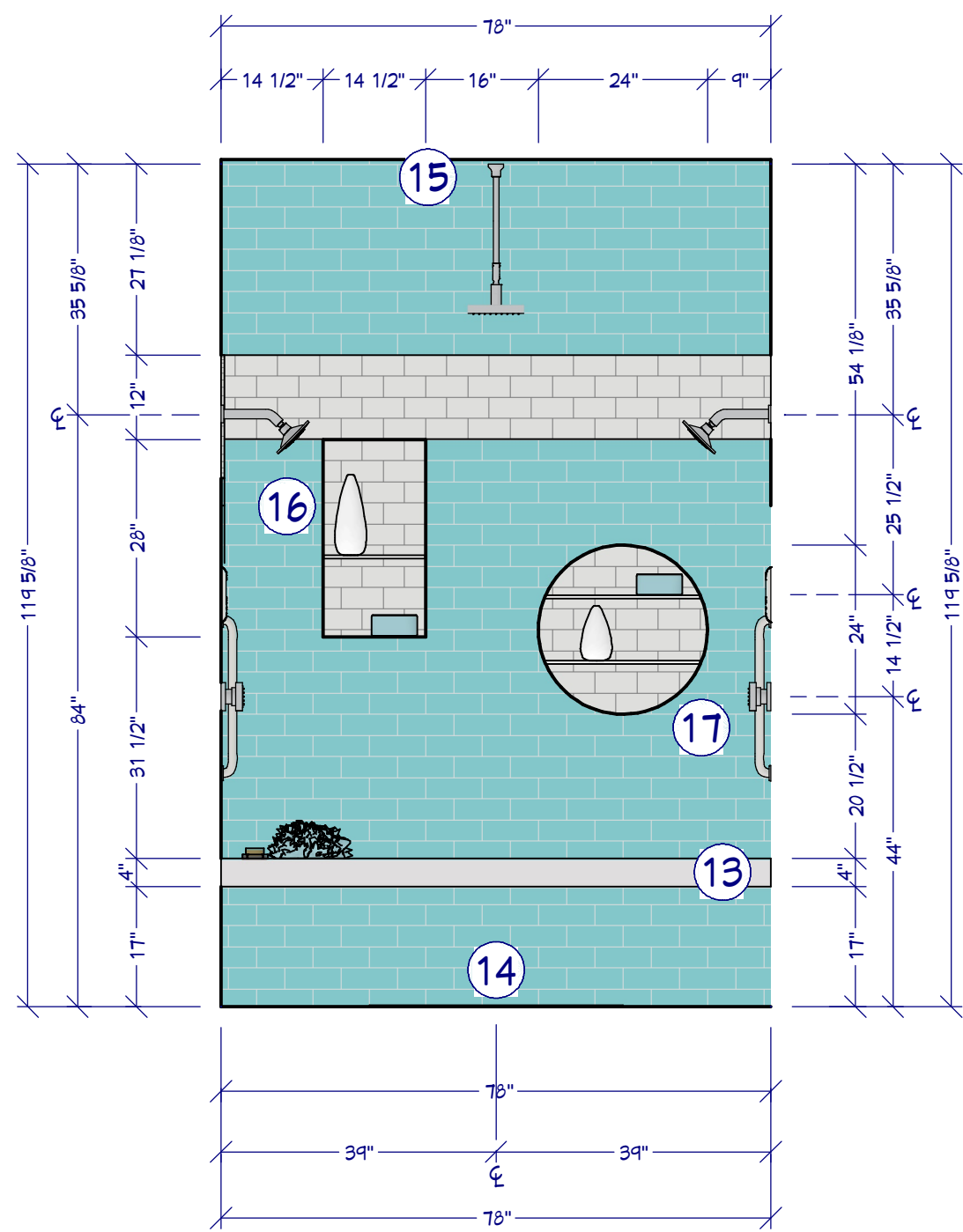
B1 BATH SUITE MAIN WALL

1/2"=1'



BATH SUITE / CLOSET PLAN

1/2"=1'



B2 SHOWER ELEVATION

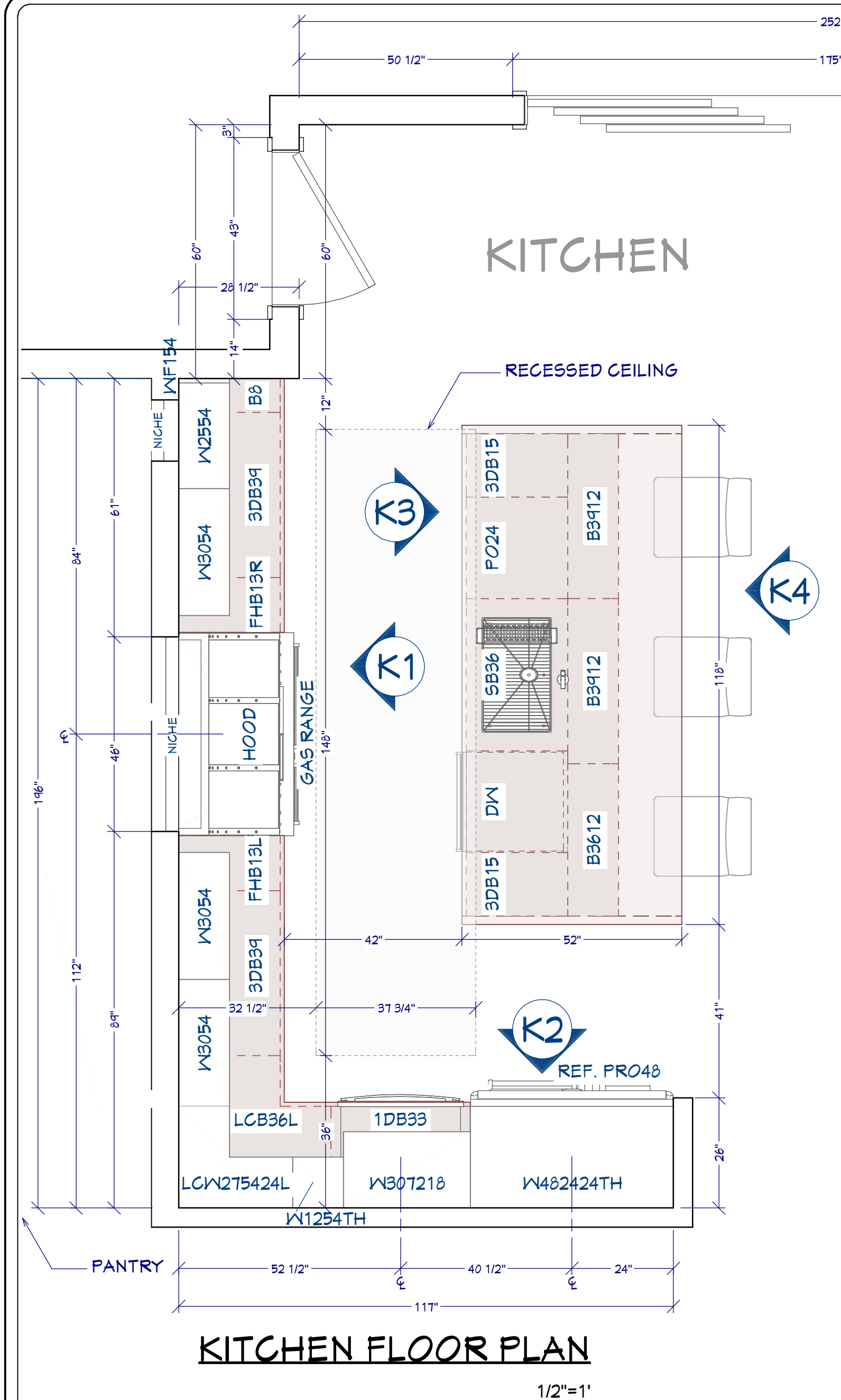
1/2"=1'

FIXTURES

| NO. | DESCRIPTION | BRAND |
|-----|--------------------------------------|--------|
| 1 | LED MIRROR | KOHLER |
| 2 | FREE STANDING TUB | DELTA |
| 3 | TUB FILLER | DELTA |
| 4 | CUSTOM VANITY | DELTA |
| 5 | GLASS VESSEL SINK | DELTA |
| 6 | SHIPLAP PANEL | DELTA |
| 7 | TILE MOLDING, SERPENTINE INTO SHOWER | DELTA |
| 8 | SHOWER TILE - OWNER TO FINALIZE | DELTA |
| 9 | SHOWER HEAD | DELTA |
| 10 | SHOWER DTY CONTROL | DELTA |
| 11 | BODY SPRAY | DELTA |
| 12 | GRAB BAR MIN. 250 LBS. | DELTA |
| 13 | FLOATING BENCH | DELTA |
| 14 | STRIP DRAIN | DELTA |
| 15 | RAIN HEAD | DELTA |
| 16 | RECTANGULAR NICHE | DELTA |
| 17 | ROUND NICHE | DELTA |
| 18 | WALL HUNG TOILET | DELTA |
| 19 | SHOWER BARN DOOR | DELTA |

BATH NOTES

- 1 LED MIRROR
- 2 FREE STANDING TUB
- 3 TUB FILLER
- 4 CUSTOM VANITY
- 5 GLASS VESSEL SINK
- 6 SHIPLAP PANEL
- 7 TILE MOLDING, SERPENTINE INTO SHOWER
- 8 SHOWER TILE - OWNER TO FINALIZE
- 9 SHOWER HEAD
- 10 SHOWER DTY CONTROL
- 11 BODY SPRAY
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- 13 FLOATING BENCH
- 14 STRIP DRAIN
- 15 RAIN HEAD
- 16 RECTANGULAR NICHE
- 17 ROUND NICHE
- 18 WALL HUNG TOILET
- 19 SHOWER BARN DOOR







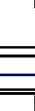




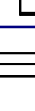








KITCHEN & CABINET NOTES:

- 1 ALL CABINETS FRAMELESS WHITE OAK
- 2 CONFIRM FINISH & STAIN/PAINT WITH CLIENT PRIOR TO ORDERING
- 3 CONFIRM DOOR & DRAWER STYLES WITH CLIENT PRIOR TO ORDERING
- 4 INSTALL HARDWARE ON SITE
- 5 INSTALL CROWN MOLDING ON SITE; CONFIRM PROFILE AND DIMENSION WITH HOME OWNER
- 6 CABINET SUPPLIER RESPONSIBLE FOR FINAL MEASUREMENTS & CABINET OPENINGS FOR APPLIANCES SPECIFICATIONS
- 7 ALL APPLIANCES TO BE ON DEDICATED CIRCUITS, UNO. REFER TO APPLIANCE SPECIFICATIONS FOR AMP/VOLTAGE REQUIREMENTS
- 8 USE MIN 6" DUCT FOR HOOD. COOK HOOD 600 CFM MIN.
- 9 CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH CLIENT PRIOR TO ORDERING
- 10 ALL DRAWERS TO BE TONGUE & GROOVE; GLIDES TO BE SOFT CLOSE
- 11 LED STRIP LIGHTS FOR WALL CABINETS AND UNDER ISLAND
- 12 UNDERCOUNTER GFCI ELECTRICAL PLUGS
- 13 COUNTER FABRICATION: CONFIRM ALL FIXTURE MEASUREMENTS AND CENTERLINES

KITCHEN KEY NOTES:

- 1 RECESSED CEILING
- 2 CROWN MOLDING
- 3 RAIN WATER GLASS
- 4 UNDER CAB LED LIGHTING & STRIP PLUGS
- 5 OGEE EDGE PROFILE
- 6 RECESSED NICHE
- 7 GAS COOK RANGE / ELECTRIC OVEN
- 8 CUSTOM COOK HOOD
- 9 ROLLOUT VERTICAL SHELVES
- 10 SUBZERO PRO48 REF.
- 11 MICROWAVE DRAWER
- 12 COFFEE STATION W/ POCKET DOORS
- 13 KOHLER UNDERMOUNT SINK
- 14 WASTE PULLOUT
- 15 BUTT EDGE WATERFALL

CABINET / MOLDING SCHEDULE

| REFLECTION | E | LARGE | BUTTERFLY CABINET DETAILABLE | | | | DESCRIPTION |
|---|-----|------------|------------------------------|-------|------|------|------------------------------|
| | | | 2014 | THICK | THIN | THIN | |
|  | G01 | SS015 | 2 | 15" | 24" | 36" | BASE CABINET |
|  | G02 | FWB13R | 1 | 13" | 24" | 36" | BASE CABINET |
|  | G04 | SS001 | 2 | 34" | 24" | 36" | BASE CABINET |
|  | G09 | LG084L | 1 | 36" | 36" | 36" | CORNER BASE CABINET |
|  | G06 | ES012 | 1 | 36" | 12" | 36" | BASE CABINET |
|  | G07 | ES012 | 2 | 34" | 12" | 36" | BASE CABINET |
|  | G10 | DS08 | 1 | 36" | 24" | 36" | SINK BASE CABINET |
|  | G14 | P024 | 1 | 24" | 24" | 36" | BASE CABINET P/WASTE PULLOUT |
|  | G16 | FWB13L | 1 | 13" | 24" | 36" | BASE CABINET |
|  | G21 | B0 | 1 | 0" | 24" | 36" | BASE CABINET |
|  | G22 | 1D933 | 1 | 33" | 24" | 36" | HWY BASE CABINET |
|  | G23 | LCVOT0424L | 1 | 27" | 24" | 54" | CORNER P/WALL CABINET |
|  | G26 | FW02342TH | 1 | 40" | 24" | 24" | P/WALL CABINET |
|  | G27 | PW070210 | 1 | 30" | 10" | 72" | P/WALL CABINET |
|  | G28 | PW1204TH | 1 | 12" | 12" | 54" | P/WALL CABINET |
|  | G29 | PW094 | 1 | 25" | 12" | 54" | P/WALL CABINET |
|  | G30 | PW094 | 3 | 30" | 12" | 54" | P/WALL CABINET |
|  | G31 | PWF194 | 1 | 1" | 12" | 54" | P/WALL CABINET FILLER |



RENDERINGS

FOR ILLUSTRATION ONLY

NO SCALE

