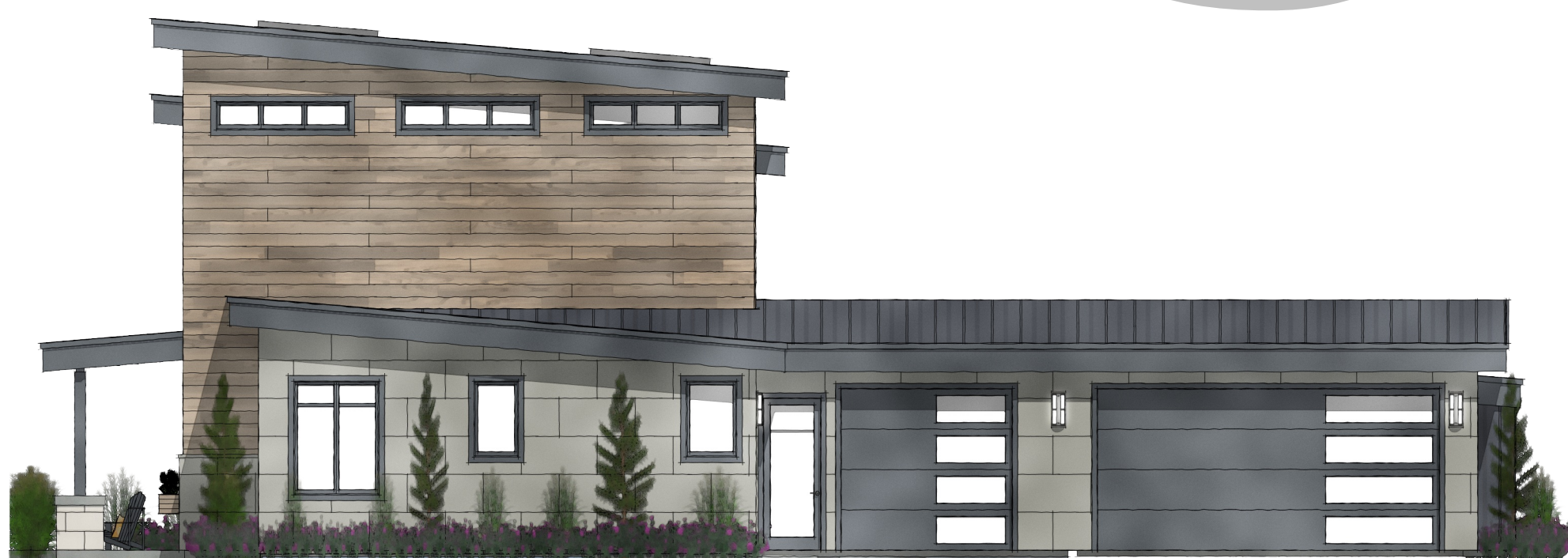




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THE AUSTIN ENTERTAINMENT



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GENERAL NOTES:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

OWNER: _____

PROJECT: AUSTIN'S ENTERTAINMENT
ADDRESS: 12815 HACIENDA RIDGE.
LEGAL: LOT 22, BLOCK 3

FIRE DISTRICT: CITY OF AUSTIN
WATER/SEWER: METRO WATER SERVICES

STORM WATER PERMIT: _____
BUILDING PERMIT: _____

DESIGNER: _____
DESIGN CONSULTANT: _____
BUILDER: _____
SITE DISTURBANCE: _____
ENGINEERING: _____

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SHEET NUMBER

1

SCALE @ 24" X 36"

DATE:

DRAWN BY: S.H.

PROJECT SUMMARY

12815 Hacienda Ridge.
Austin, TX 78738

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PROJECT STATISTICS:

LOT SIZE: 22,225 / .51 ACRE
ANTICIPATED DISTURBED AREA: 7,500 SF (33.75%)
BLDG. ENVELOPE: 4,337 SF
ROOF: 5,984 SF
FRONT/REAR HEIGHT: 28" / 25.2'
LIVABLE SF: 4,586
MAIN: 2,662
SECOND: 1291
FOUNDATION: 2,620
GARAGE: 897
CAR SHOP: 354
DECKS/WALKS: 1,389

SITE PLAN NOTES

SOIL: *2,000 PSF ALLOWABLE (ASSUMED) TO BE AT TIME OF EXCAVATION. SHALLOW AND MODERATELY DEEP, WELL-DRAINED SOIL FORMED IN MATERIAL WEATHERED FORM BASALT THAT HAS A SMALL AMOUNT OF LOESS IN THE UPPER PART OF THE PROFILE. THE PERMEABILITY IS ESTIMATED TO BE GOOD.

FROST DEPTH: *2'-0"
SEISMIC ZONE: C
WIND: 76 MPH (90 MPH 3 SEC GUST)
EXPOSURE C

SITE SURVEY TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION.
CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM

MARKED TREES SHALL BE REMOVED PRIOR TO SITE WORK.

CALL BEFORE YOU DIG: 800.428.4950

PROJECT NARRATIVE

THE PROPOSED SITE LOCATION IS 12815 HACIENDA RIDGE, AUSTIN, TX 78738 LOT 22, BLOCK 3, SPANISH OAKS, TRAVIS COUNTY. THE PROPOSED PROJECT INCLUDES A SINGLE-FAMILY RESIDENCE.

EROSION CONTROL NOTES:

1. INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
2. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.
3. ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
4. HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000# / ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURE'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER
5. STRIP SHALES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW SHALES.

GRADING NOTES:

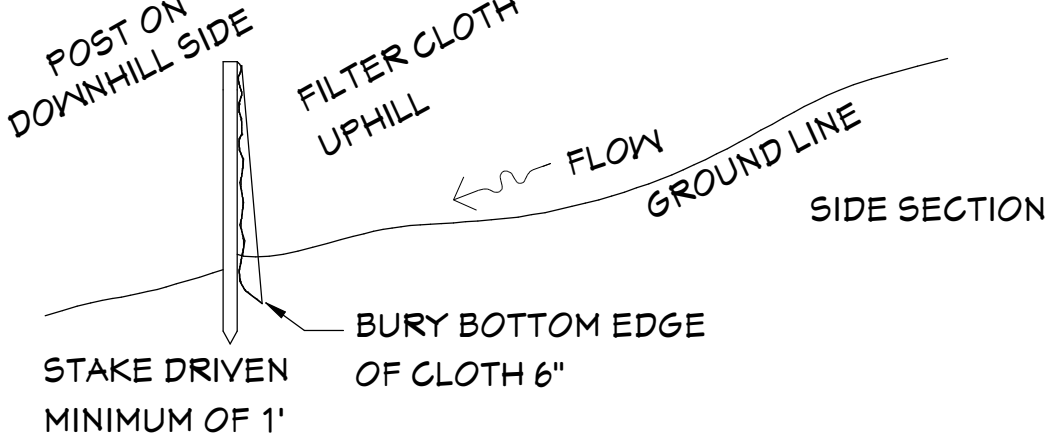
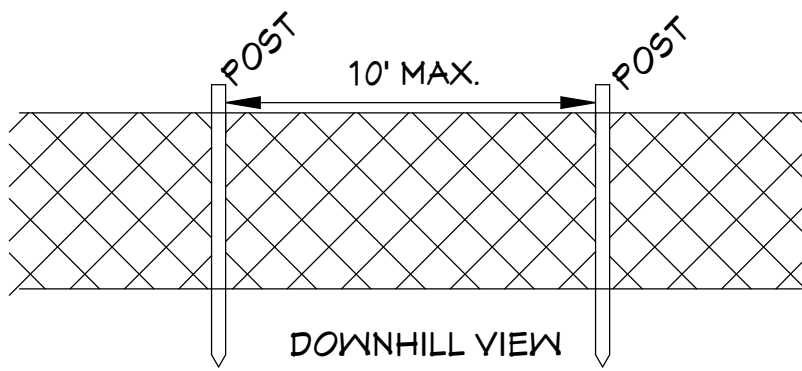
1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
4. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.
5. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
6. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

LANDSCAPE NOTES:

1. OWNER RESPONSIBLE FOR LANDSCAPING - SUCH AS LAWN, TREES, SHRUBS, ETC.
2. IRRIGATION SYSTEM SHALL BE STUBBED IN WITH VALVE BOX AND IRRIGATION MAIN LINES RUN UNDER CONCRETE. OWNER SHALL PROVIDE FINISH HEADS AND LINES.
3. OWNER SHALL PROVIDE TRAILS AND STEPPING STONES.
4. OWNER RESPONSIBLE FOR POOL, EQUIPMENT, AND SPORTS COURT.

UTILITY LEGEND

C	CABLE	G
G	GAS	P / L
P	POWER	S
S	SEWER	C / W
W	WATER	TV

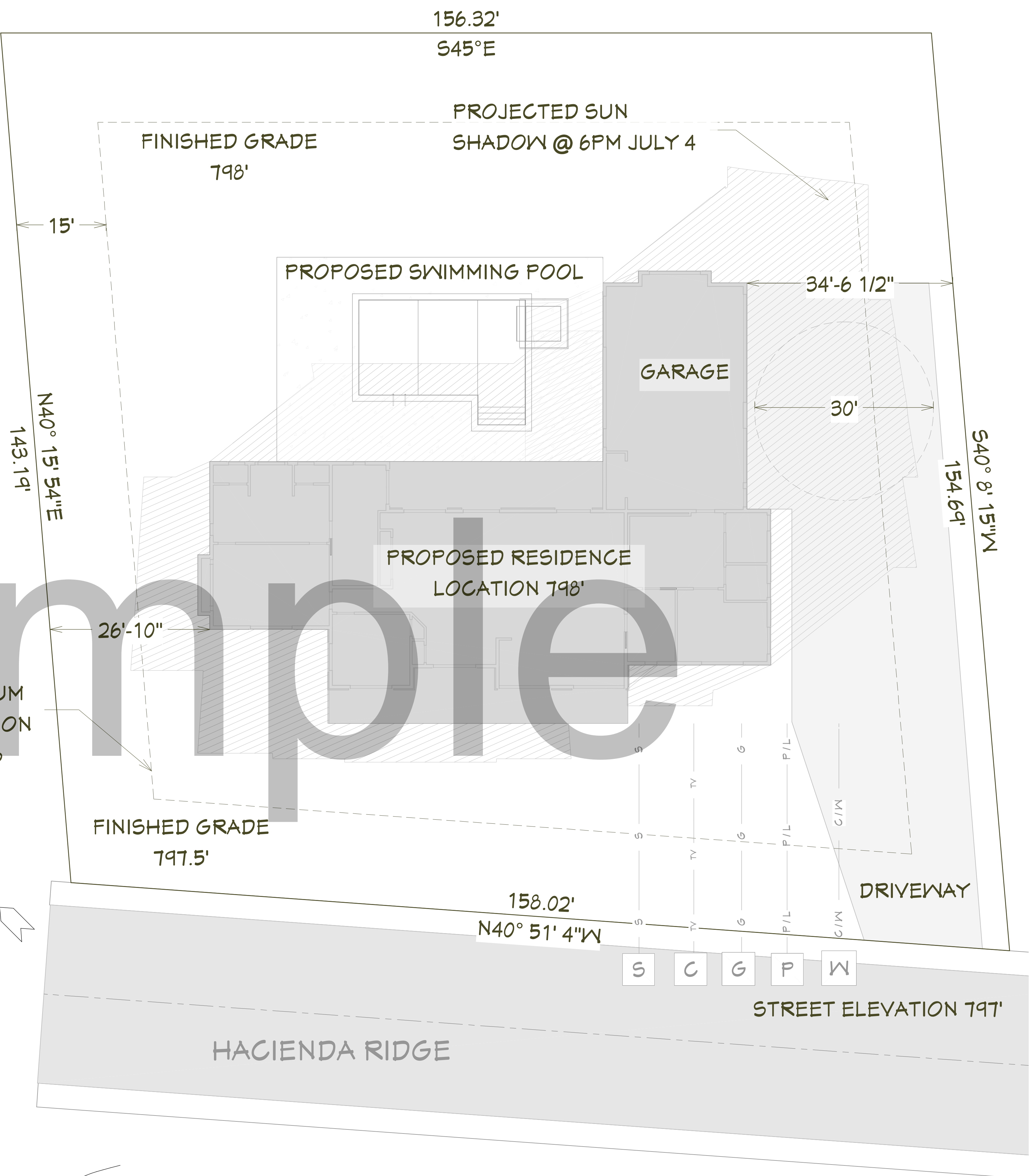


SILT FENCE DETAIL

NOT TO SCALE



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SITE & DISTURBANCE PLAN

1"=10'

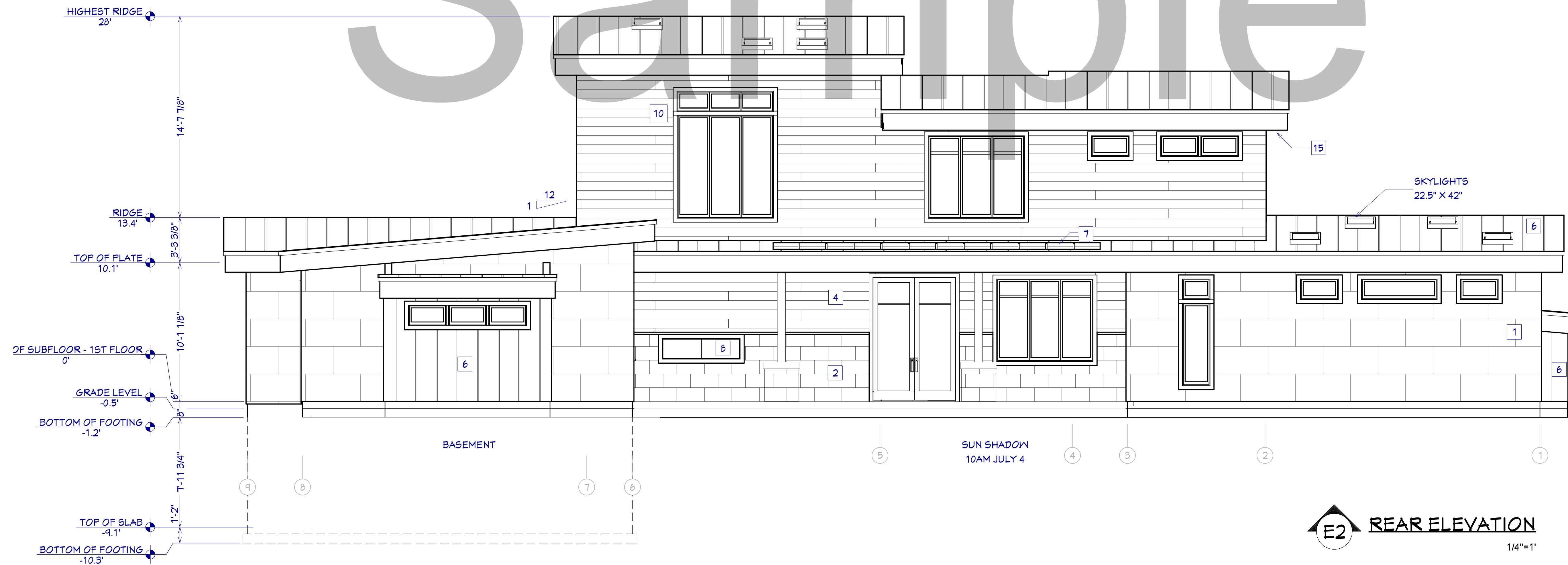
SITE & DISTURBANCE
PLAN

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SHEET NUMBER
2
SCALE @ 24" X 36"
DATE:
DRAWN BY: S.H.



SHEET NUMBER 3	
SCALE @ 24" X 36"	DATE:
DRAWN BY: S.H.	
EXTERIOR ELEVATIONS	
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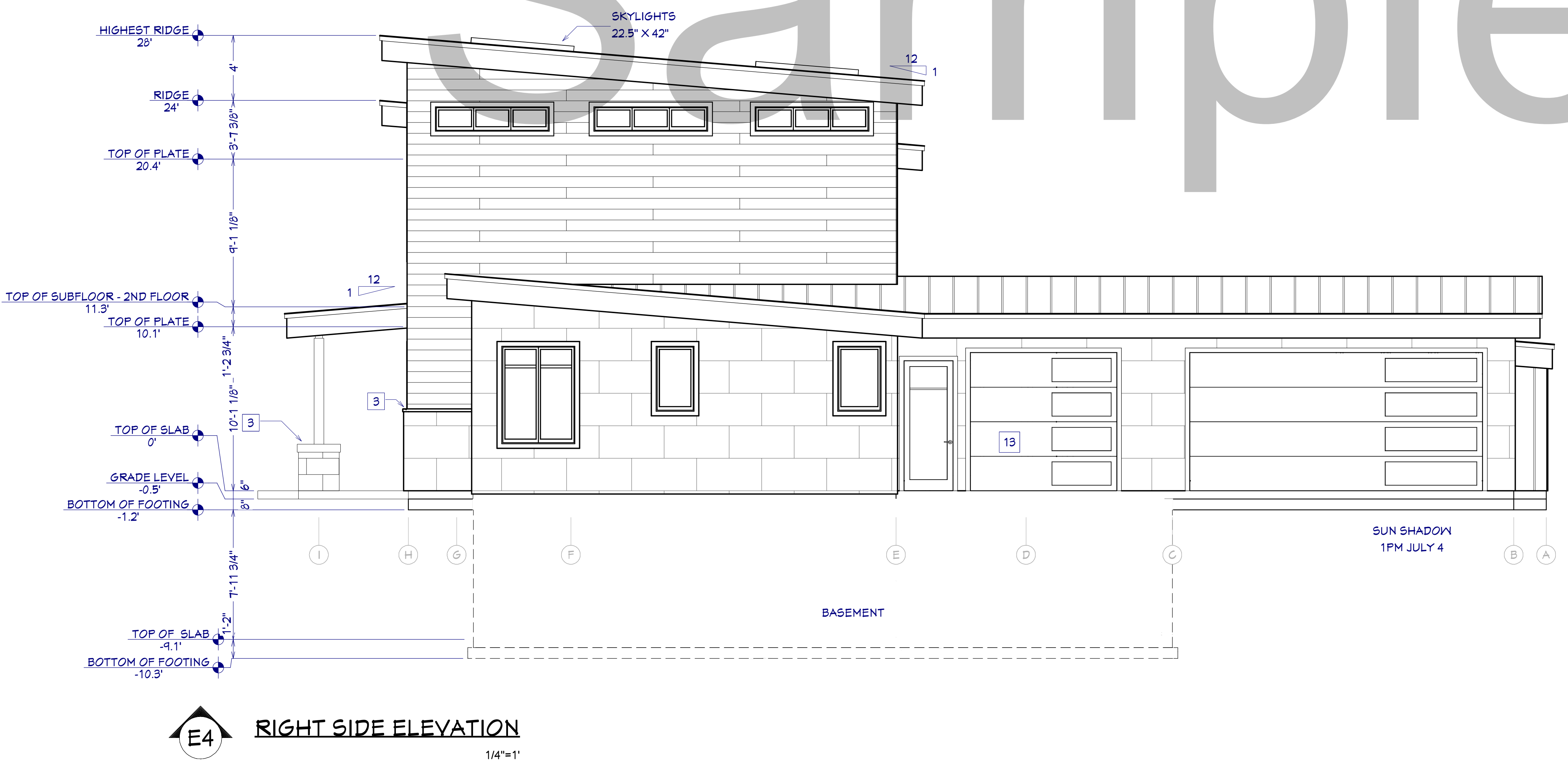
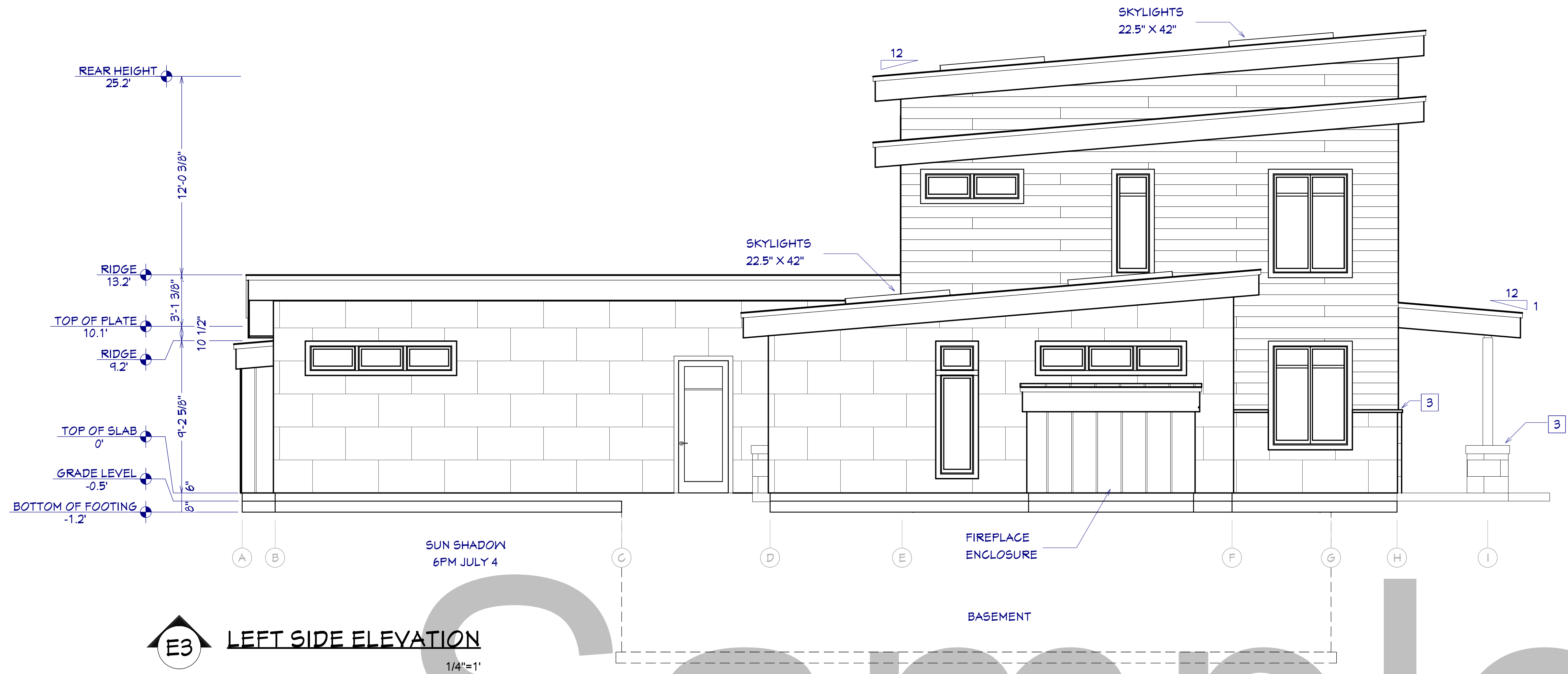
EXTERIOR KEY NOTES

- 1 FIBER CEMENT PANEL
- 2 MFG. STONE
- 3 STONE CAP
- 4 FIBER CEMENT LAP SIDING
- 5 FASCIA 18"
SHADOW BOARD 1.5 X 3.5"
RAIN GUTTER AND DOWN SPOUT ALL
RELEVANT EDGES
- 6 SEAMED METAL
- 7 ROOF OPENINGS
- 8 PASS-THRU WINDOW
- 10 CEDAR TRIM ON ALL WINDOWS
- 13 MFG. GARAGE DOOR W/ OFFSET GLASS
PANELS
- 15 21" OVERHANG, FLUSH EAVES, VENTED

**BUILDING
PERFORMANCE:**

1. HEAT LOSS CALCULATIONS SHALL COMPLY WITH RESCHECK AND/OR REQUIREMENTS OF LOCAL CODES.
2. PORCHES, DECKS, BALCONIES, FOUNDATION AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.
3. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.
4. IF THERE IS THERE IS A CRAWLSPACE, VENTING TO MEET LOCAL CODE REQUIREMENTS INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE, UNO.
5. INSULATE FOUNDATION SLAB PER PLAN.
6. MINIMUM INSULATION:

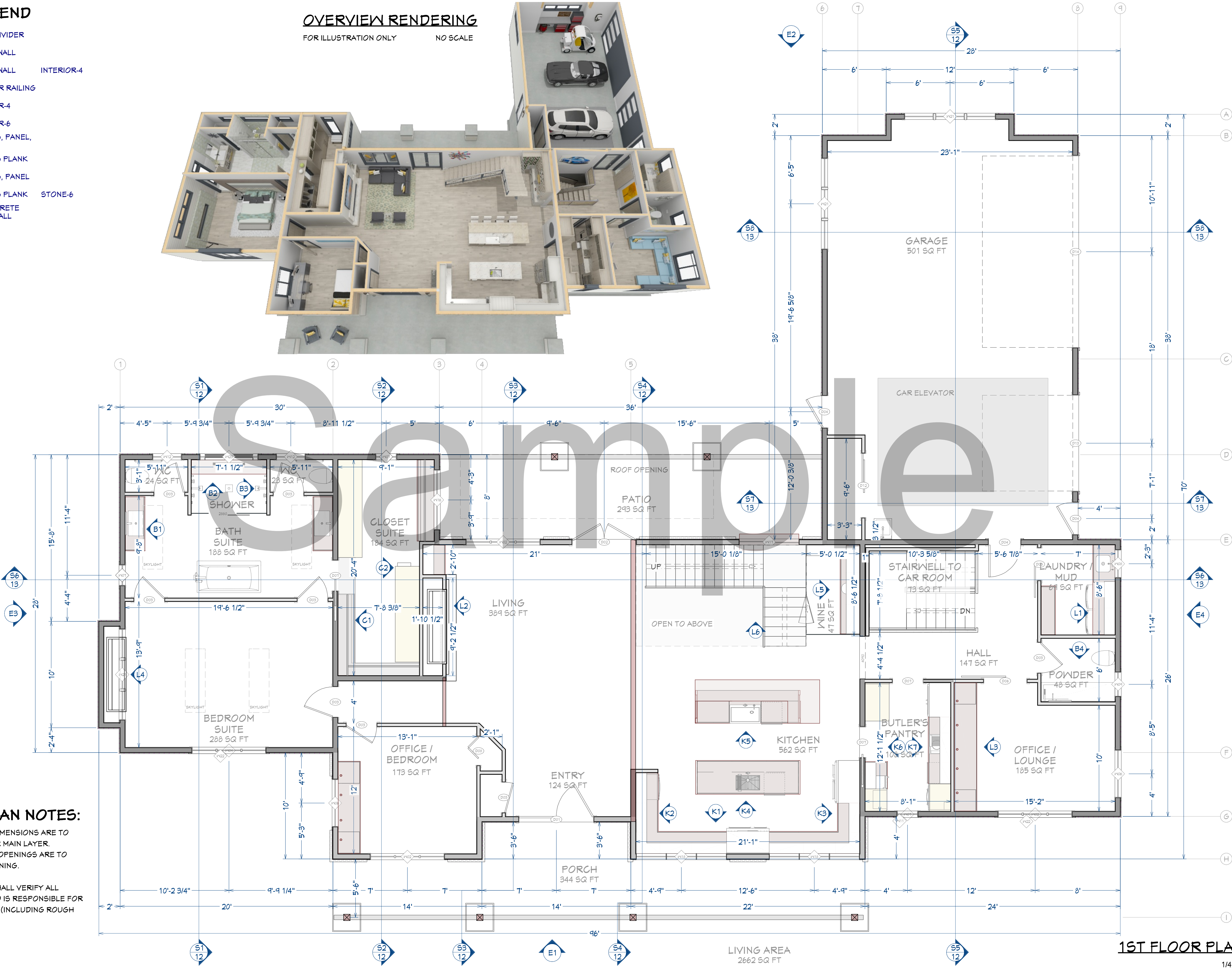
ATTIC/CEILING	R-50
WALLS	R-21
FLOORS	R-38



WALL LEGEND

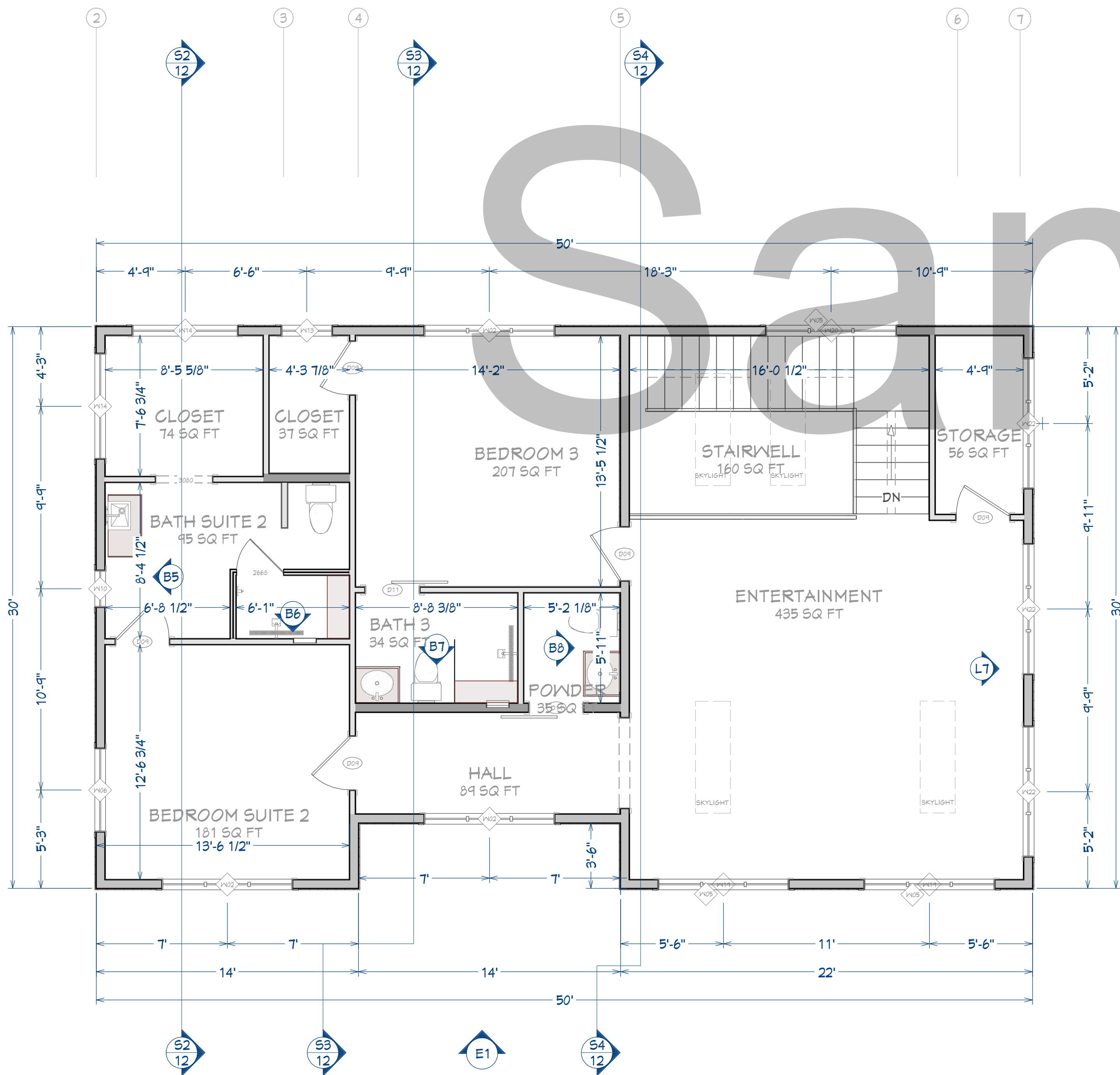
- ROOM DIVIDER
- GLASS WALL
- GLASS WALL INTERIOR-4
- INTERIOR RAILING
- INTERIOR-4
- INTERIOR-6
- SIDING-6, PANEL, ATTIC
- SIDING-6 PLANK
- SIDING-6, PANEL
- SIDING-6 PLANK STONE-6
- 8" CONCRETE STEM WALL

OVERVIEW RENDERING
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WALL LEGEND

- ROOM DIVIDER
- GLASS WALL
- GLASS WALL INTERIOR-4
- INTERIOR RAILING
- INTERIOR-4
- INTERIOR-6
- SIDING-6, PANEL, ATTIC
- SIDING-6 PLANK
- SIDING-6, PANEL
- SIDING-6 PLANK STONE-6
- 8" CONCRETE STEM WALL



2ND FLOOR PLAN

1/4"=1'



SHEET NUMBER

6

SCALE @ 24" X 36"

DATE:

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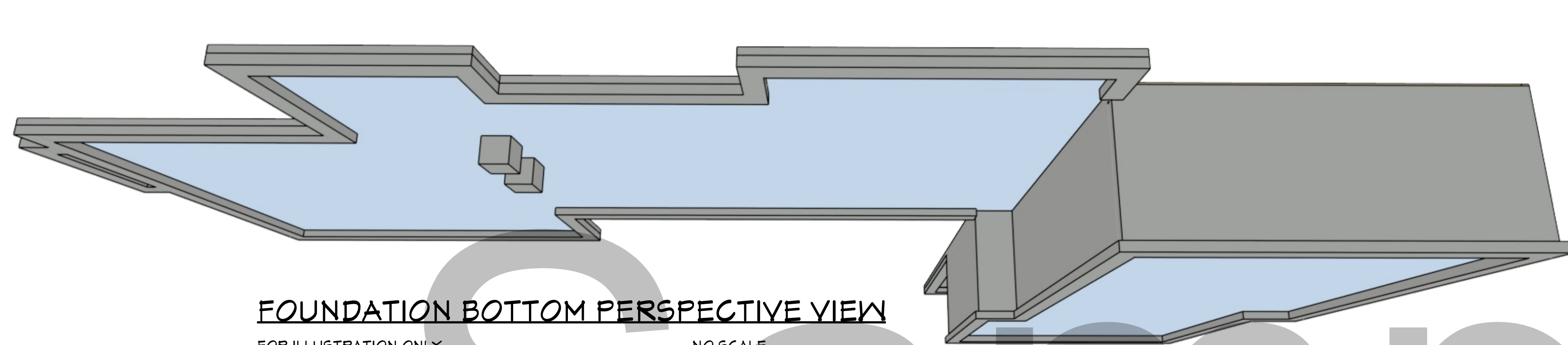
2ND FLOOR PLAN

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Austin, TX 78738

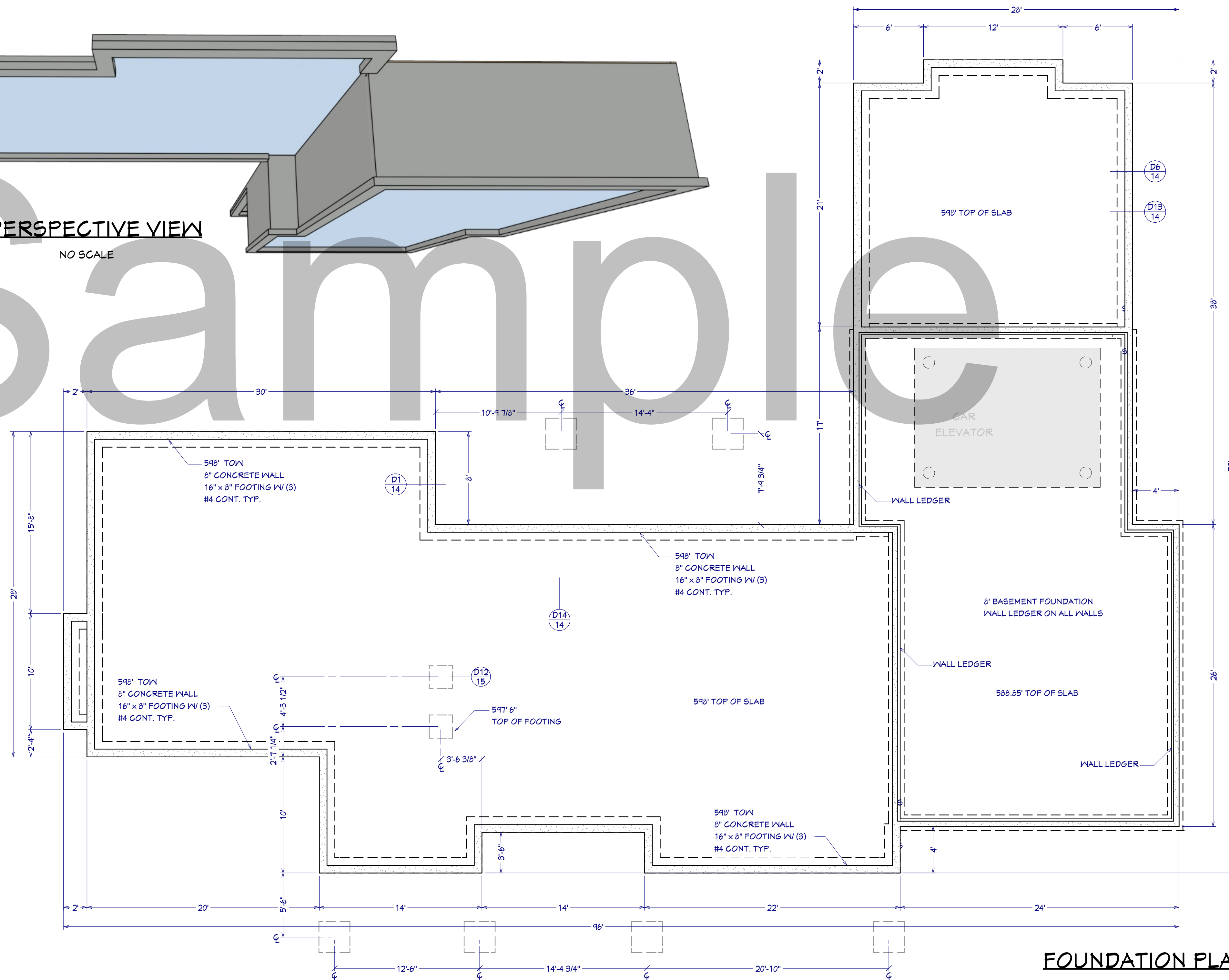
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FOUNDATION BOTTOM PERSPECTIVE VIEW
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FOUNDATION PLAN
3/16\"/>

FOUNDATION NOTES

1. ALL ANCHOR BOLTS TO BE 5/8" DIA X 10 @ 32" O/C UNO. SEE SHEAR PLANS FOR HOLD DOWN DETAILS
2. ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60
3. ALL REINFORCING STEEL TO OVERLAP A MINIMUM OF 24" FOR SPLICES FOR #4 BARS & 36" FOR #5 BARS
4. PROVIDE CORNER BARS TO MATCH CONTINUOUS STEEL
5. MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,000 PSI (DESIGNED AS 2,500 PSI) AT 28 DAYS. MAXIMUM AGGREGATE SIZE IS 1". MAXIMUM AIR ENTRAINMENT IS 3%. CEMENT SHOULD BE TYPE 1 OR 2
6. SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF. IF SOIL CONDITIONS VARY FROM THIS, THE PROJECT ENGINEER MUST BE NOTIFIED. ALL FOOTINGS MUST BEAR ON UNDISTURBED SOIL. ALL SLOPES MUST BE STABILIZED
7. ADJACENT GROUND SURFACES SHALL BE SLOPED AWAY FROM STRUCTURE DRAINAGE OF SURROUNDING AREA SHALL ALSO BE PROVIDED TO PREVENT ACCUMULATION OF SOIL AND EROSION OF SOIL NEAR FOOTINGS
8. UNIFORM SOIL CONDITIONS, MUST BE PROVIDED UNDER SLAB AND FOOTINGS. CUT/FILL OR NON-UNIFORM SOIL CONDITIONS SHOULD BE EXCAVATED AND REPLACED W/ UNIFORM ENGINEERED FILL MATERIAL TO MINIMIZE DIFFERENTIAL MOVEMENT
9. THE TOPS OF FOUNDATION WALLS SHALL EXTEND 6" ABOVE THE ADJACENT FINISH GRADE

SHEET NUMBER

7

SCALE @ 24" X 36"

DATE:

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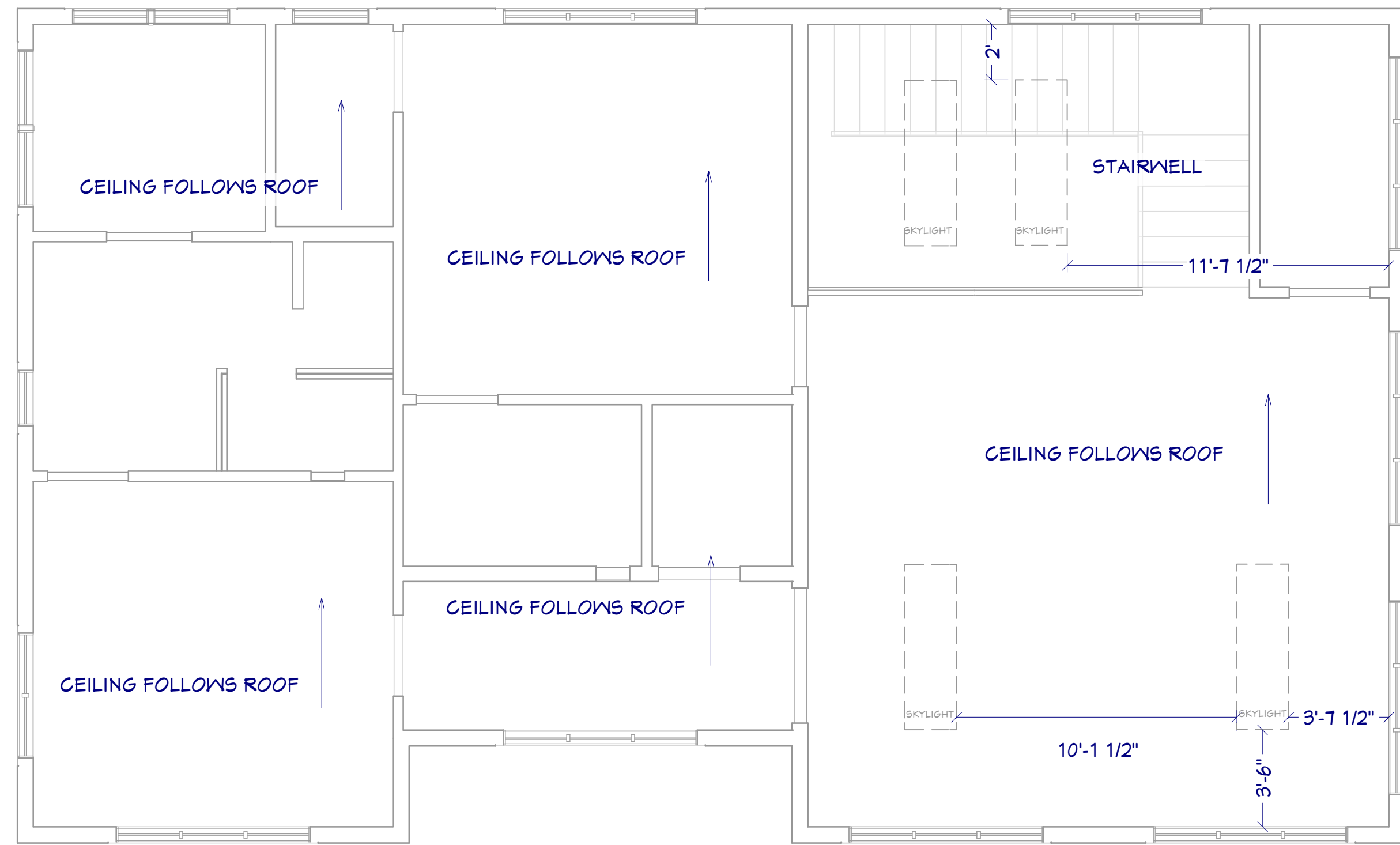
FOUNDATION PLAN

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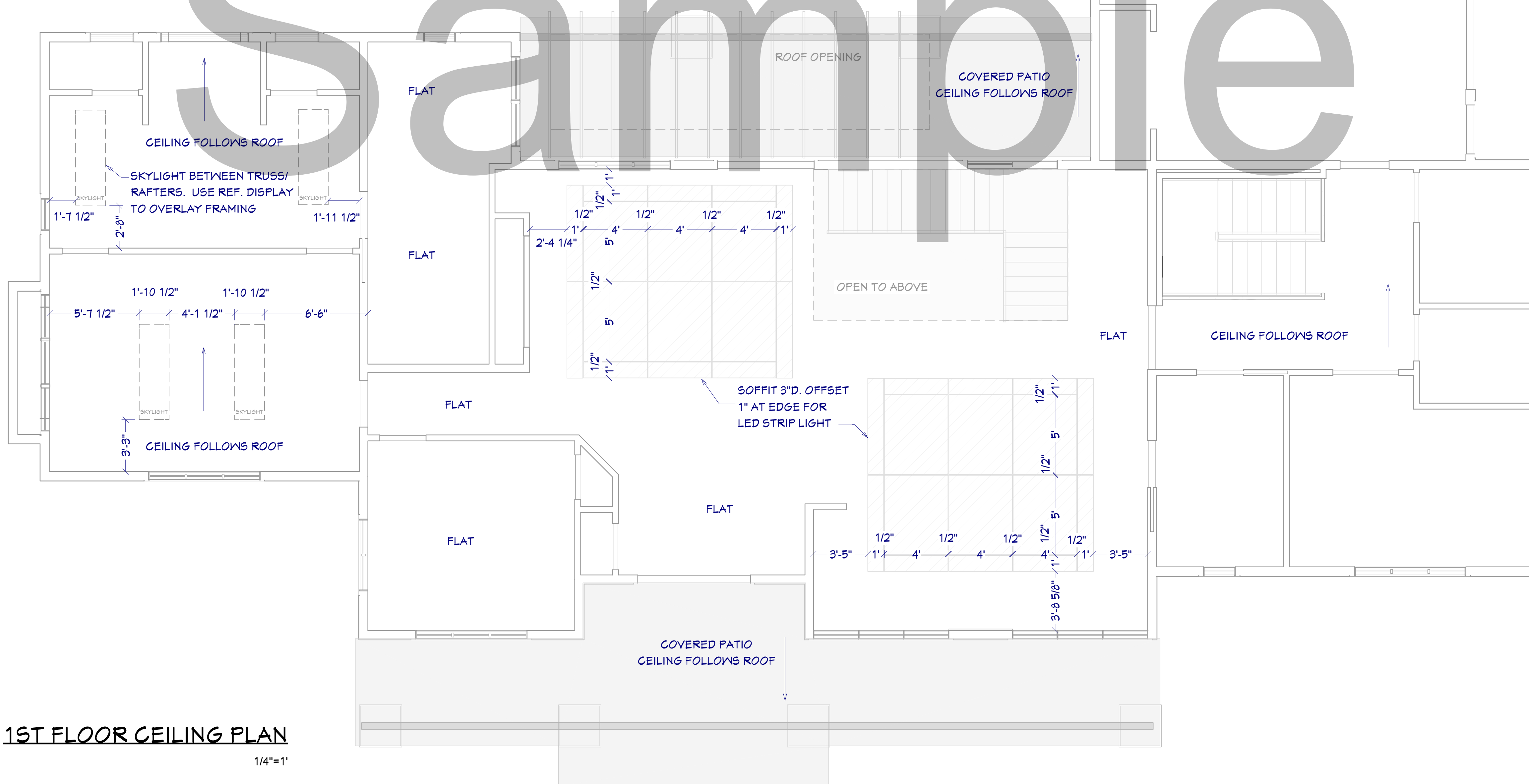
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2ND FLOOR CEILING PLAN

1/4"=1'



1ST FLOOR CEILING PLAN

1/4"=1'

SHEET NUMBER

8

SCALE @ 24" X 36"

DATE:

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CEILING PLAN

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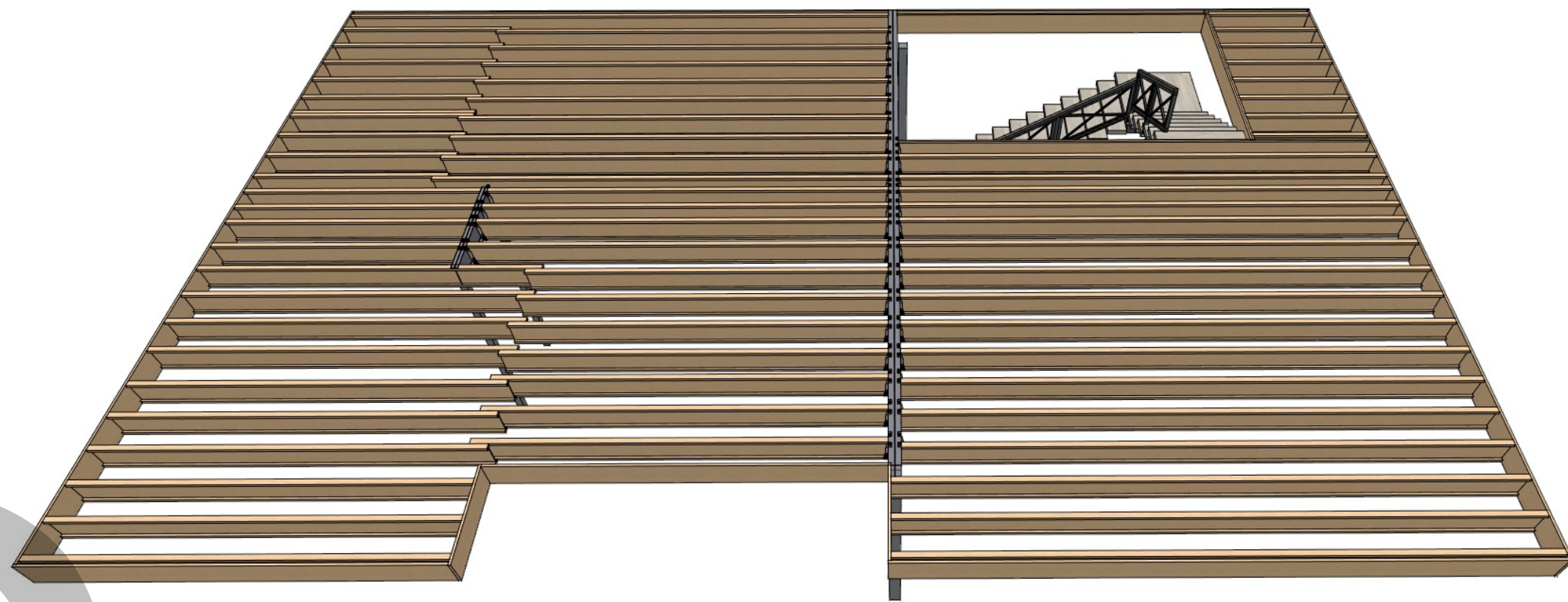
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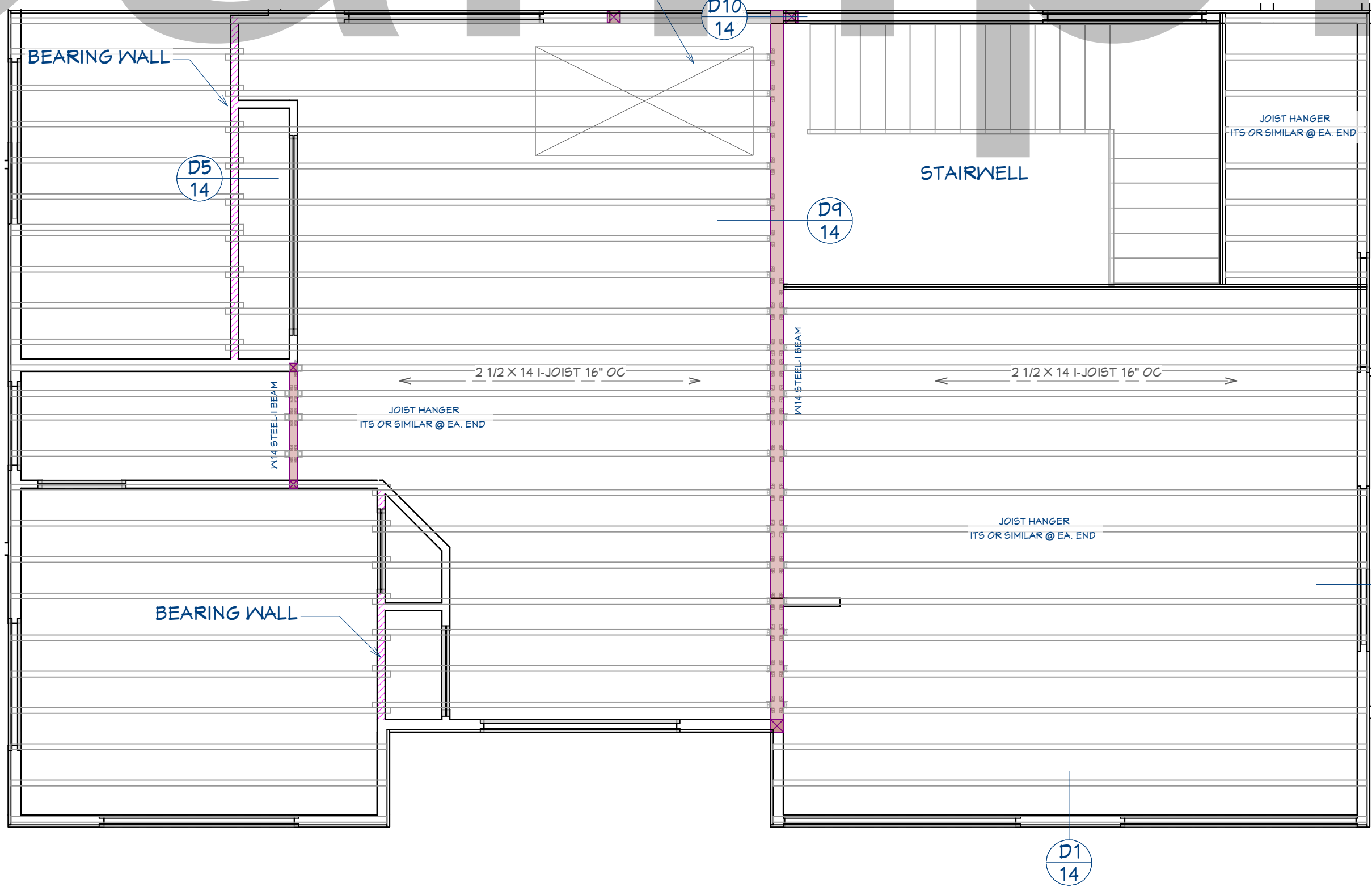
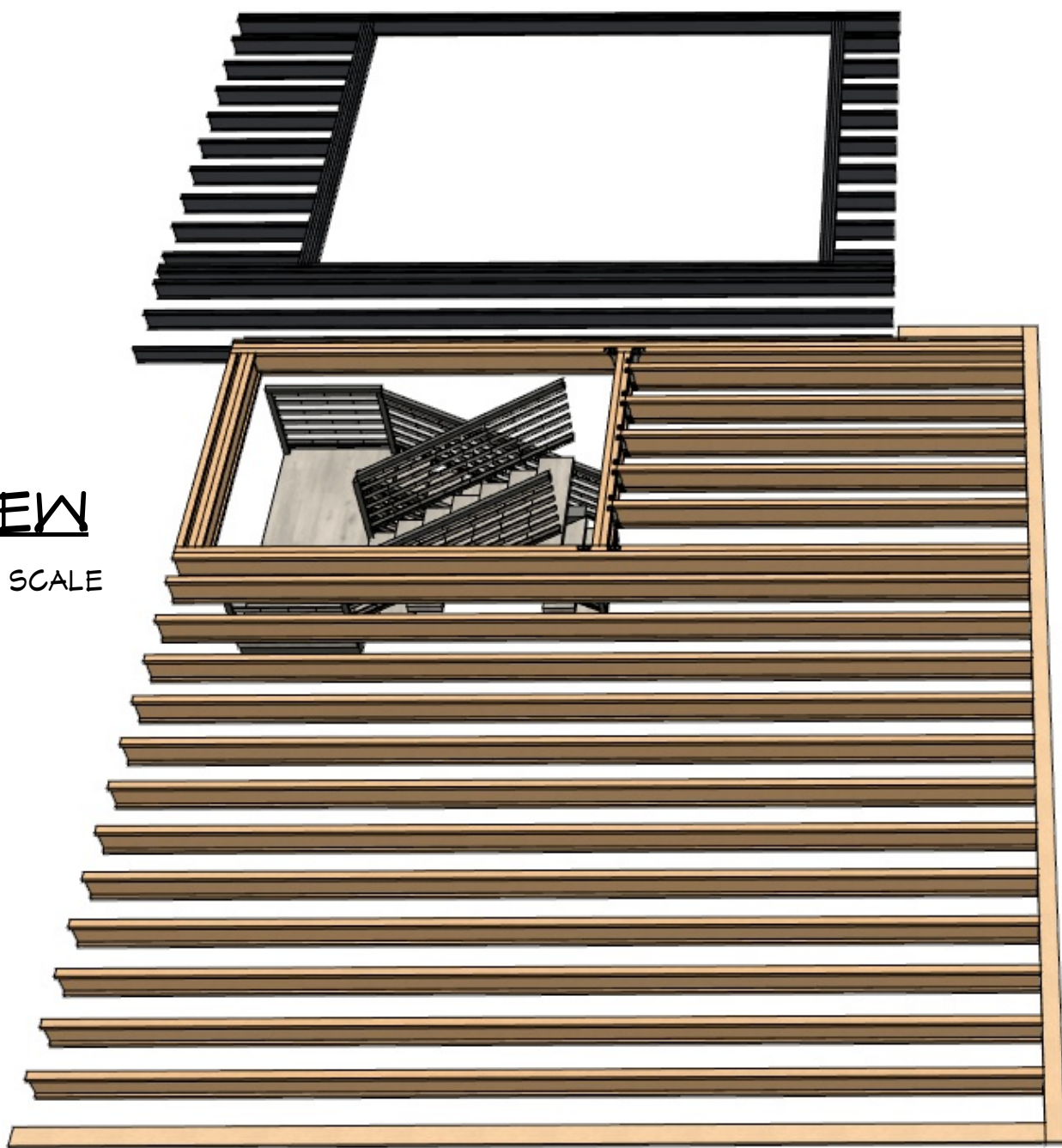
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GENERAL FRAMING NOTES:

1. ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH NO. 2 AND LARGER LUMBER SHALL BE DOUGLAS FIR NO.1 OR BETTER, UNO.
2. WALL HEADERS: (2) 2 X 10 DF 2 W/ IK/IT TYP. UNO
3. I-JOISTS AND LVL MEMBERS MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS.
4. ALL TRUSSES SHALL BE ENGINEERED AND STAMPED WITH A SEPARATE ENGINEERED DOCUMENT.
5. PRE-MANUFACTURED WOOD JOISTS & TRUSSES SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUSS OR JOIST COMPANY. NO MEMBERS SHALL BE MODIFIED AND MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MEMBERS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF THE JOISTS & TRUSSES IN WRITING TO THE CONTRACTOR/ENGINEER. PRE-MANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ENGINEER OR ICBO APPROVED.
6. ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS. CONNECT BLOCKING TO TOP OF WALL W/ SIMPSON FRAMING ANCHORS. ROOF JOIST TO HAVE HURRICANE CLIPS @ 48" O.C. OR SIMPSON H-1 HURRICANE CLIPS @ 24" O/C. INSTALL PRIOR TO ROOF SHEETING.
7. ALL WOOD & IRON CONNECTIONS MUST CARRY THE CAPACITY OF THE MEMBER. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS. IF OTHER THAN STANDARD CONNECTIONS ARE REQUIRED, CONTACT PROJECT ENGINEER FOR ASSISTANCE. USE SIMPSON OR OTHER ICC LISTED CONNECTIONS.
8. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL.
9. NAILS: ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).
10. THRUST SHALL BE ELIMINATED BY THE USE OF COLLAR TIES OR CEILING JOISTS, WHERE REQUIRED.
11. BEVELED BEARING PLATES ARE REQUIRED AT ALL BEARING POINTS FOR BCI & TJI RAFTERS.
12. ALL COLUMNS SHALL EXTEND DOWN THRU THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THAT THEY ARE SUPPORTING.
13. ALL EXTERIOR WALLS SHALL BE SHEATHED WITH 1/2" THICK 2-M-VN SHEATHING OR EQUAL W/ 8D COMMON NAILS @ 6" O.C. @ EDGES @ 12" O.C. IN FIELD, UNO. SHEATHING SHALL BE CONTINUOUS ACROSS ALL HORIZONTAL FRAMING JOINTS.
14. ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. SHEATH ROOF PRIOR TO ANY OVER FRAMING.
15. PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNO, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.
16. GLULAM BEAMS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, ATTIC 117. EACH MEMBER SHALL BEAR AN ATIC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD.
17. GLULAM BEAMS SHALL BE 24F-V4 DF/DF OR EQUAL FOR SIMPLE SPANS, AND 24F-V8 DF/DF FOR CONTINUOUS SPANS.
18. "VERSA-LAM" & "MICRO-LAM MEMBERS SHALL BE GRADE 2.0 E.
19. ANY WOOD IN CONTACT W/ CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
20. ALL WOOD & IRON CONNECTORS SHALL BE INSTALLED W/ ALL REQUIRED FASTENERS IN COMPLIANCE W/ THEIR WRITTEN APPROVAL.
21. ALL HANGERS TO BE "SIMPSON" OR EQUAL.
22. NOTIFY EOR PRIOR TO DRILLING HOLES IN STEEL BEAMS.

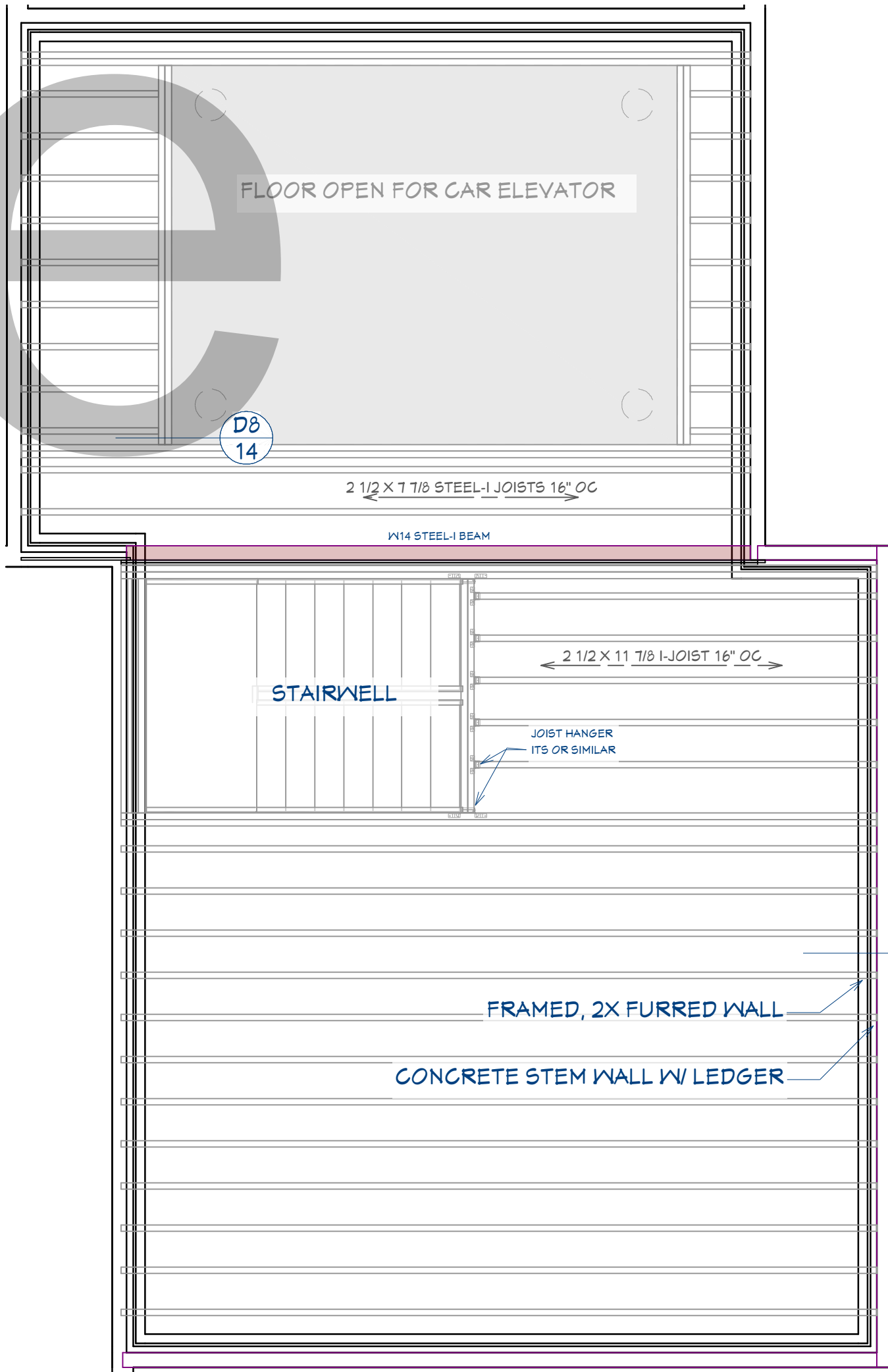


FLOOR FRAMING OVERVIEW
FOR ILLUSTRATION ONLY NO SCALE



2ND FLOOR FRAMING

1/4"=1'



1ST FLOOR FRAMING

1/4"=1'

FLOOR FRAMING

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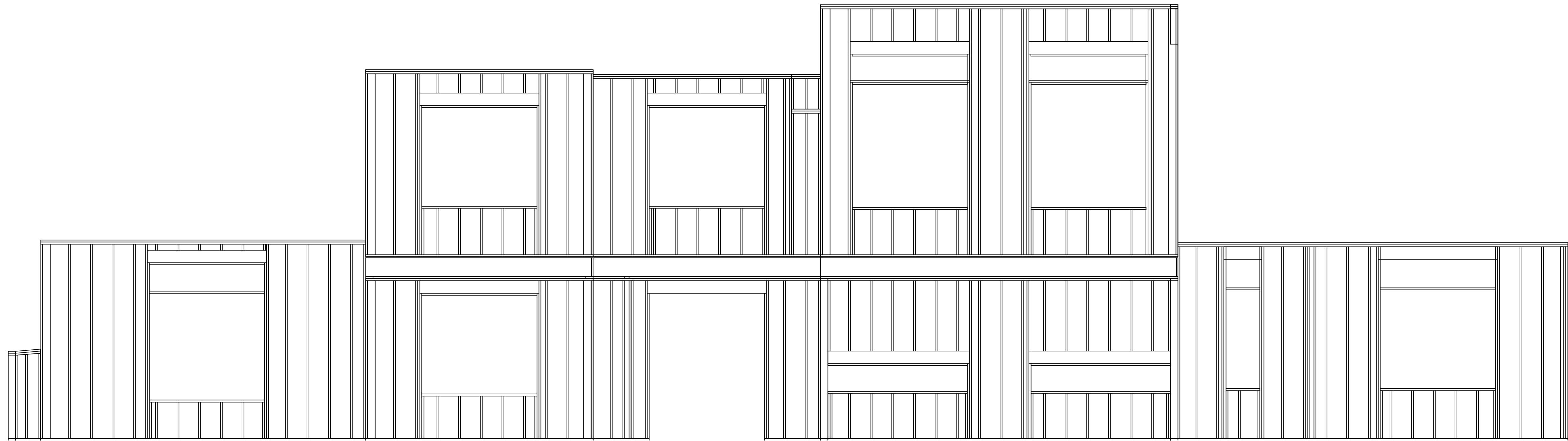
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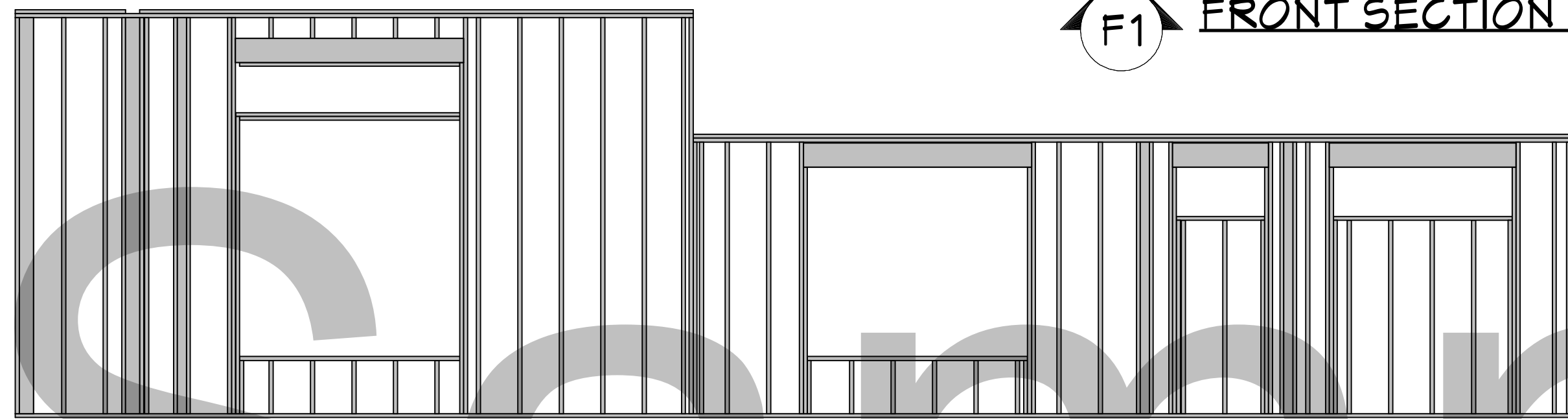
SCALE @ 24" X 36"

DATE:

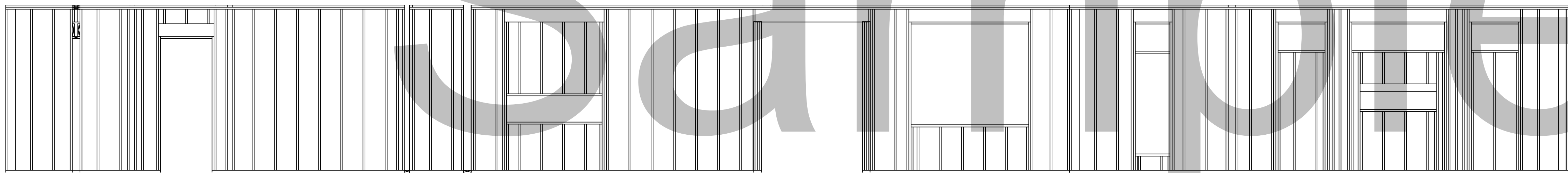
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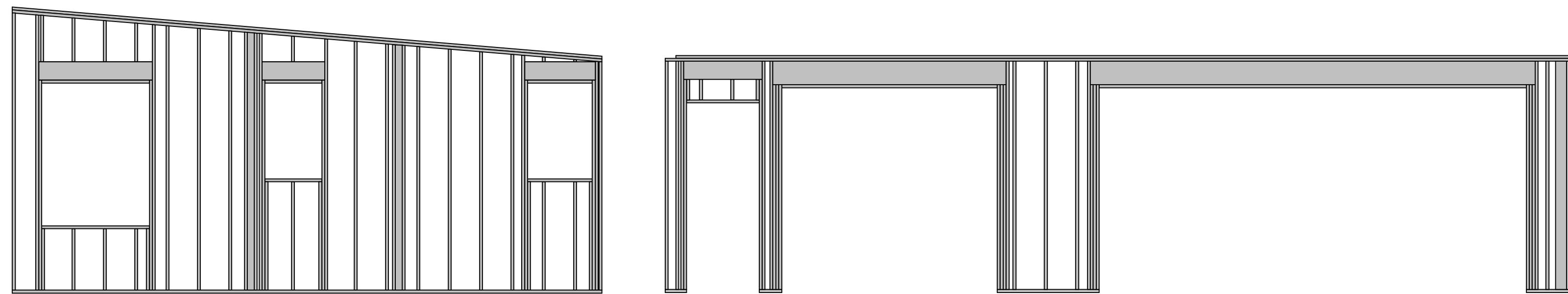
F1 FRONT SECTION FRAME DETAIL
1/4"=1'



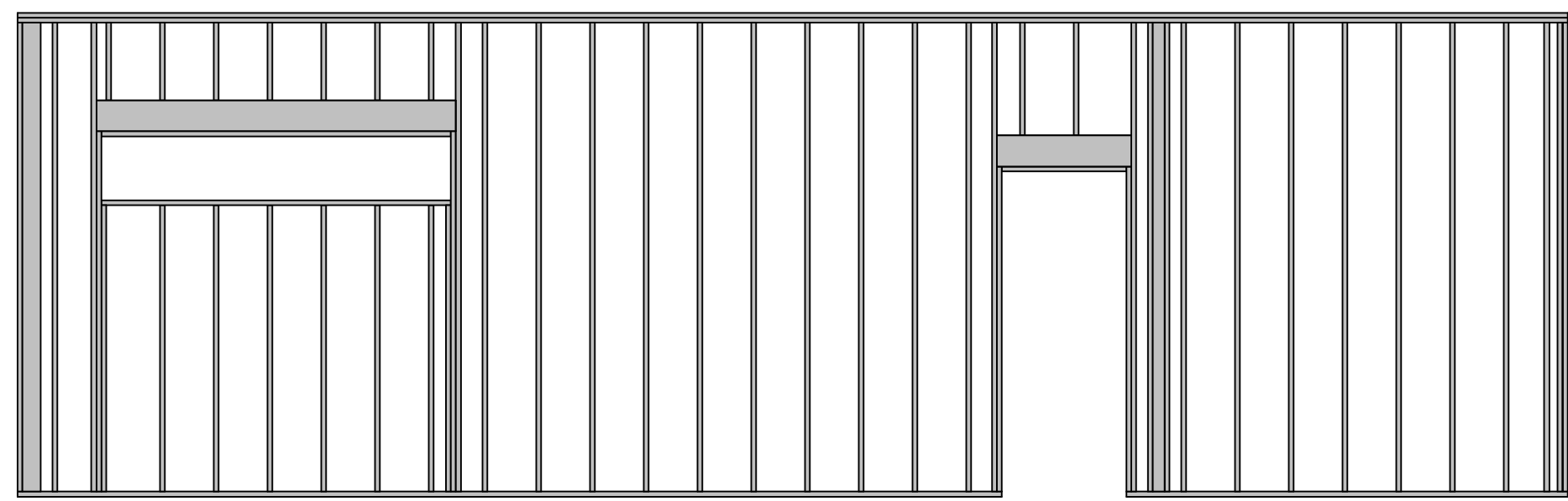
F4 WEST SECTION FRAME DETAIL
1/4"=1'



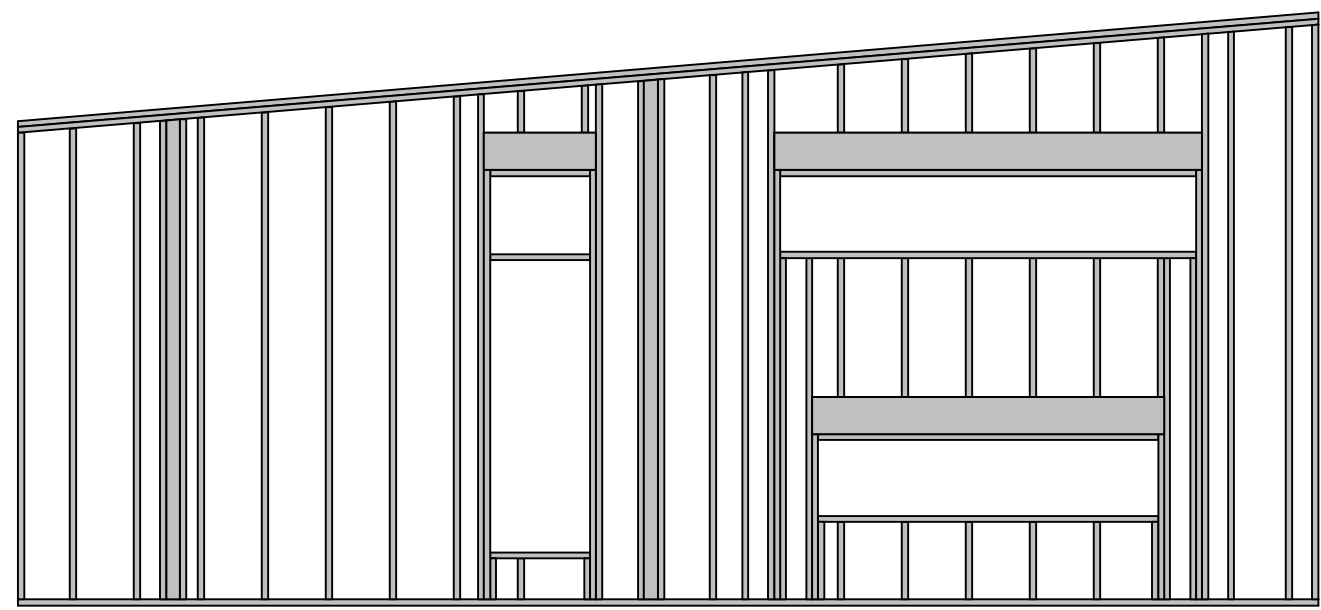
F2 REAR SECTION FRAME DETAIL
1/4"=1'



F5 NORTH SECTION FRAME DETAIL
1/4"=1'



F6 SOUTH GARAGE SECTION FRAME DETAIL
1/4"=1'



F3 SOUTH SECTION FRAME DETAIL
1/4"=1'

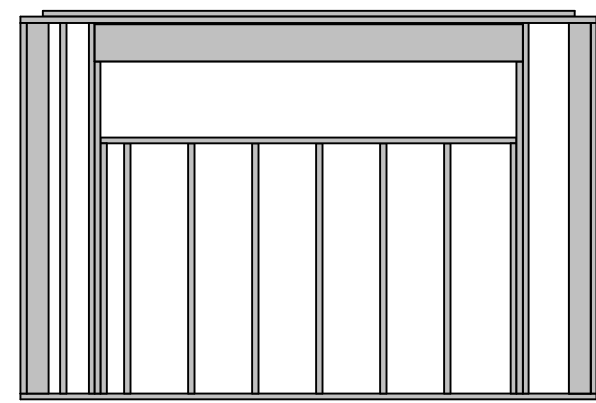
WALL FRAMING NOTES:

FRAMING & STRUCTURAL NOTES

WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES. CONFIRM WINDOW MFG. SPECS. BEFORE FRAMING
WALL HEADERS ON EXTERIOR WALLS: (2) 2" X 10" DF 2 TYP.
INSULATED w/ (1) 2x CRIPPLE & (1) 2X KING AT TOP OF PLATE, UNO
PROVIDE DOUBLE FLOOR JOISTS. UNDER ALL WALLS RUNNING PARALLEL
PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER IBC SEC. R502.12.
PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT
ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED
SEE ROOF FRAMING FOR ADDITIONAL FRAMING NOTES

LUMBER SPECIES:

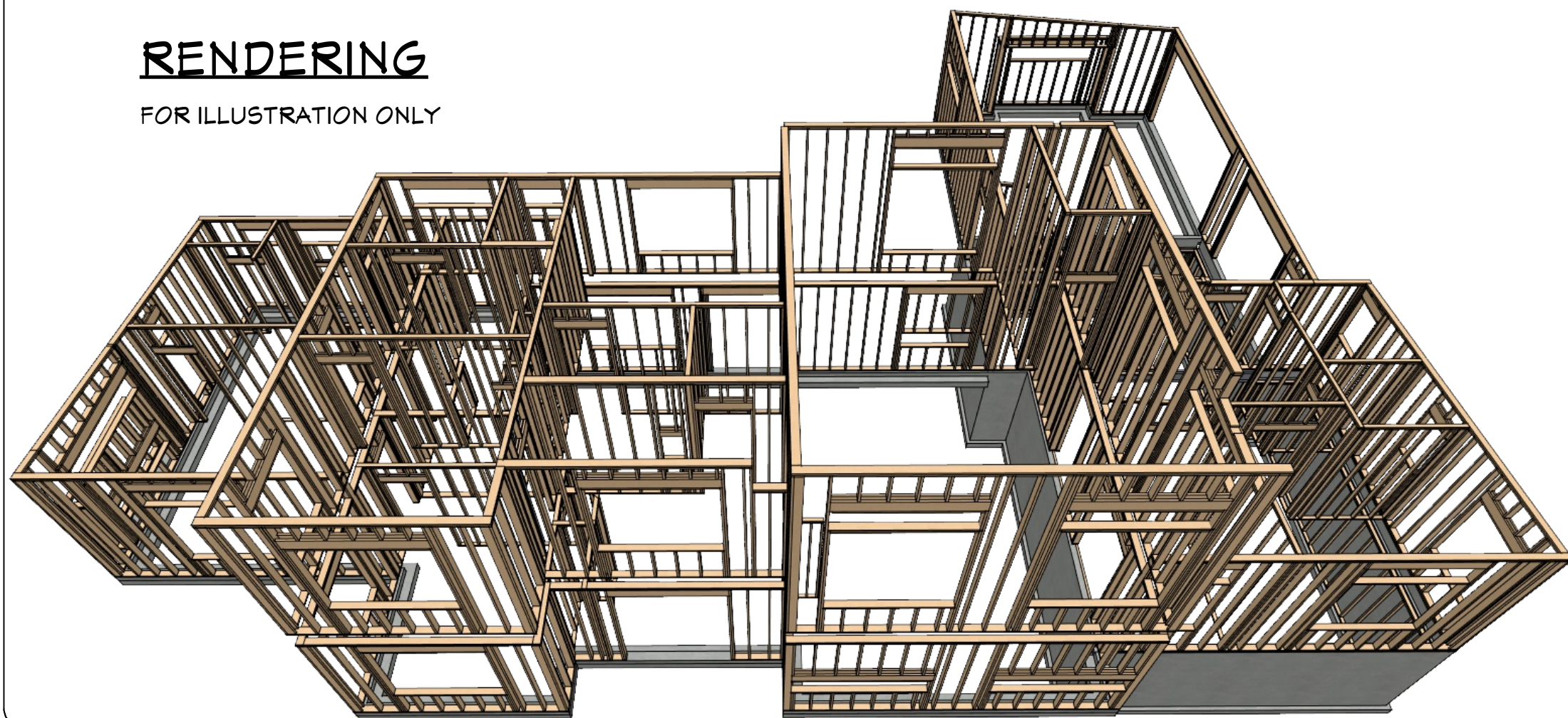
POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
EXPOSED CEDAR BEAMS TO BE DF-#2 OR BETTER, SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2
ALL STUDS TO BE DF#2 OR BETTER.
ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER.
SHEATHING SHALL BE AS FOLLOWS:
WALL SHEATHING SHALL BE 1/2" INT-APA RATED OR 7/16" OSB
FLOOR SHEATHING PER PLAN SHALL BE T&G INT-APA RATED PLYWOOD



WALL DETAIL - 1ST FLOOR 1 - FRAMING SCHEDULE

NUMBER	QTY	NAME	NOMINAL	LENGTH
T01	8	CRIPPLE	2X6	62 1/2"
T02	2	HEADER	2X10	107"
T03	1	PLATE	2X6	133"
T04	2	PLATE	2X6	144"
T05	1	SILL	2X6	104"
T06	2	TRIMMER	2X6	83"
T07	8	WALL FRAMING	2X6	92 5/8"

RENDERING
FOR ILLUSTRATION ONLY



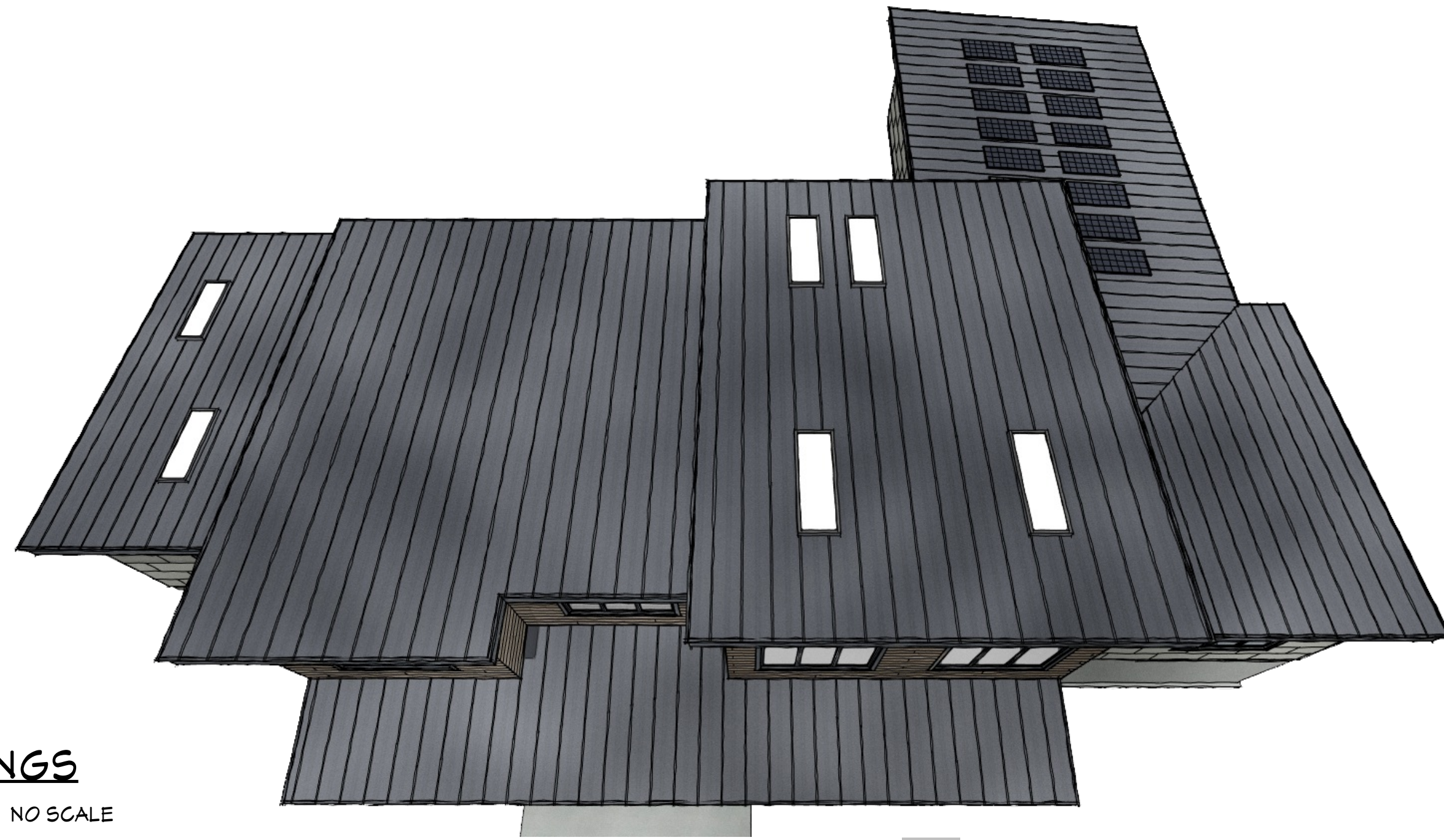
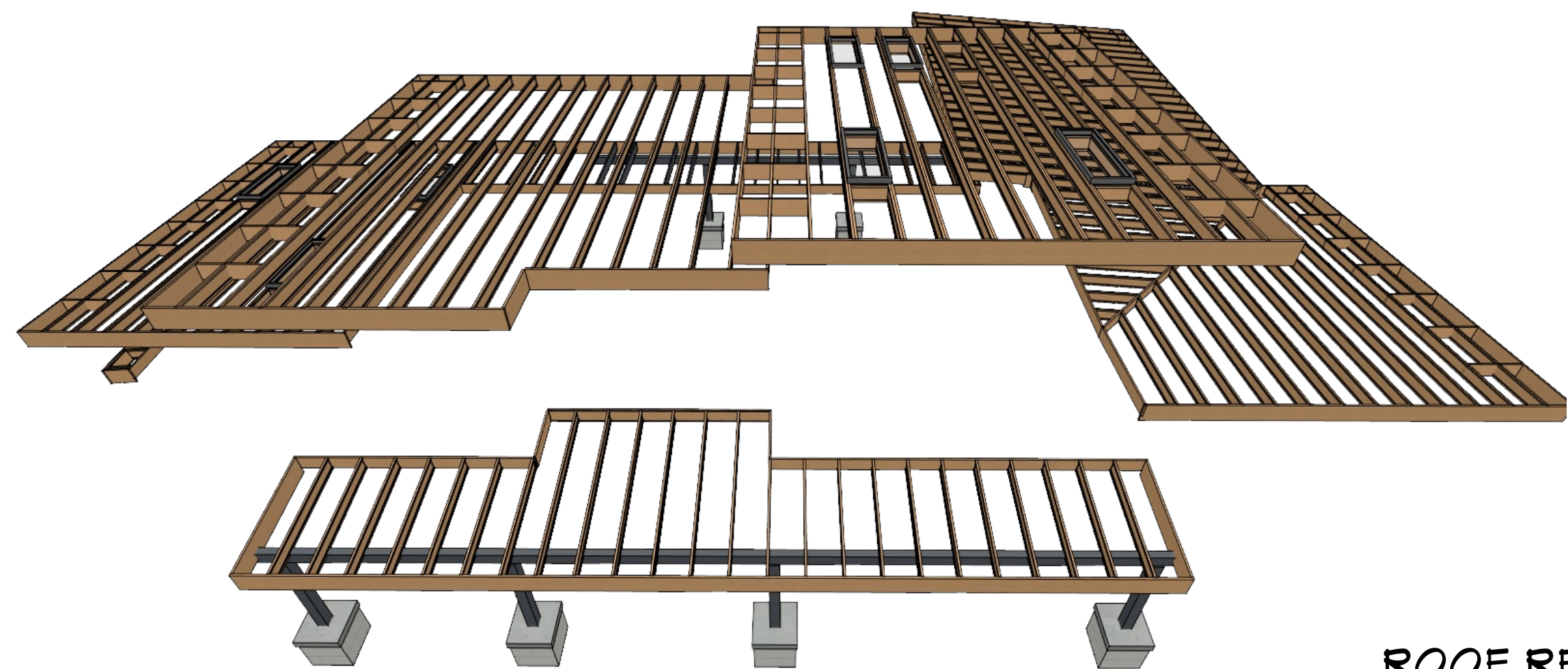
SHEET NUMBER
10

SCALE @ 24" X 36"
DATE:
DRAWN BY: S.H.

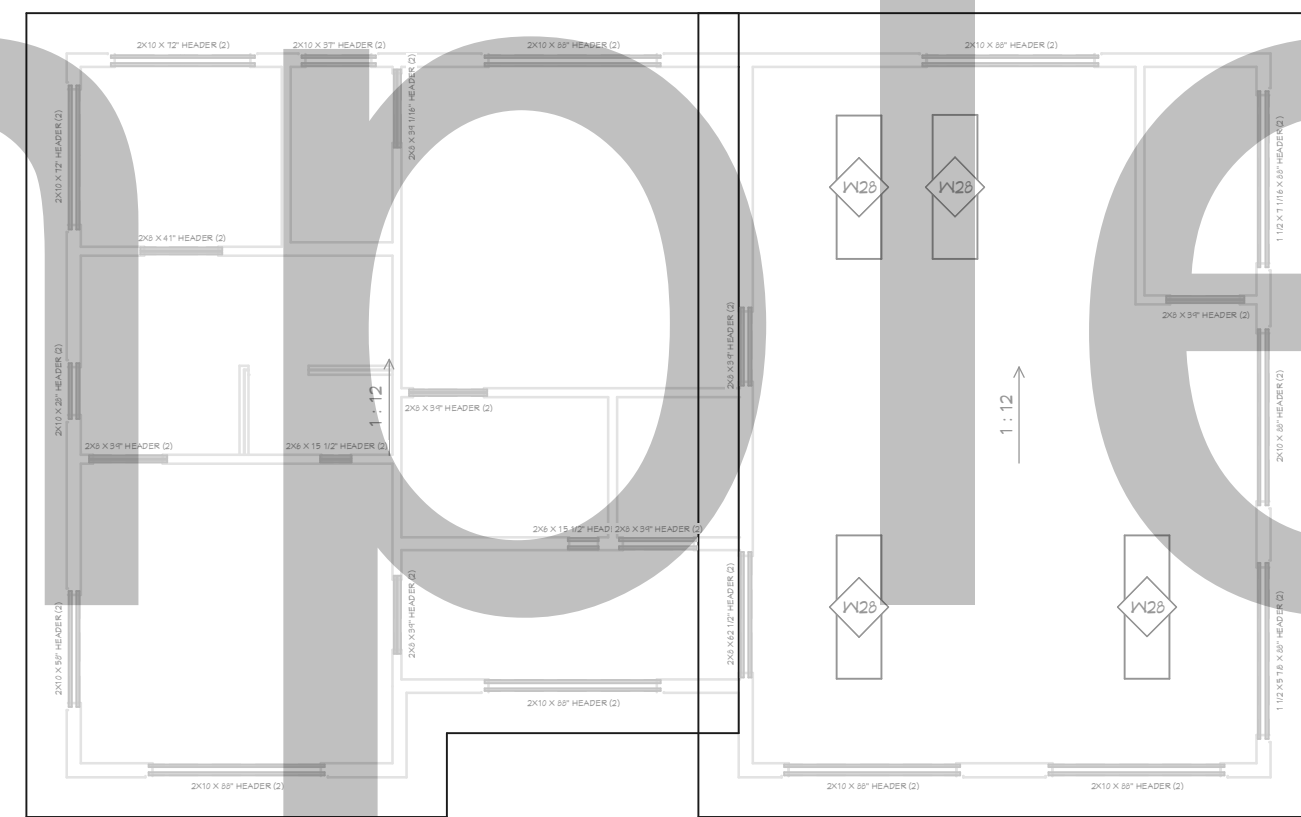
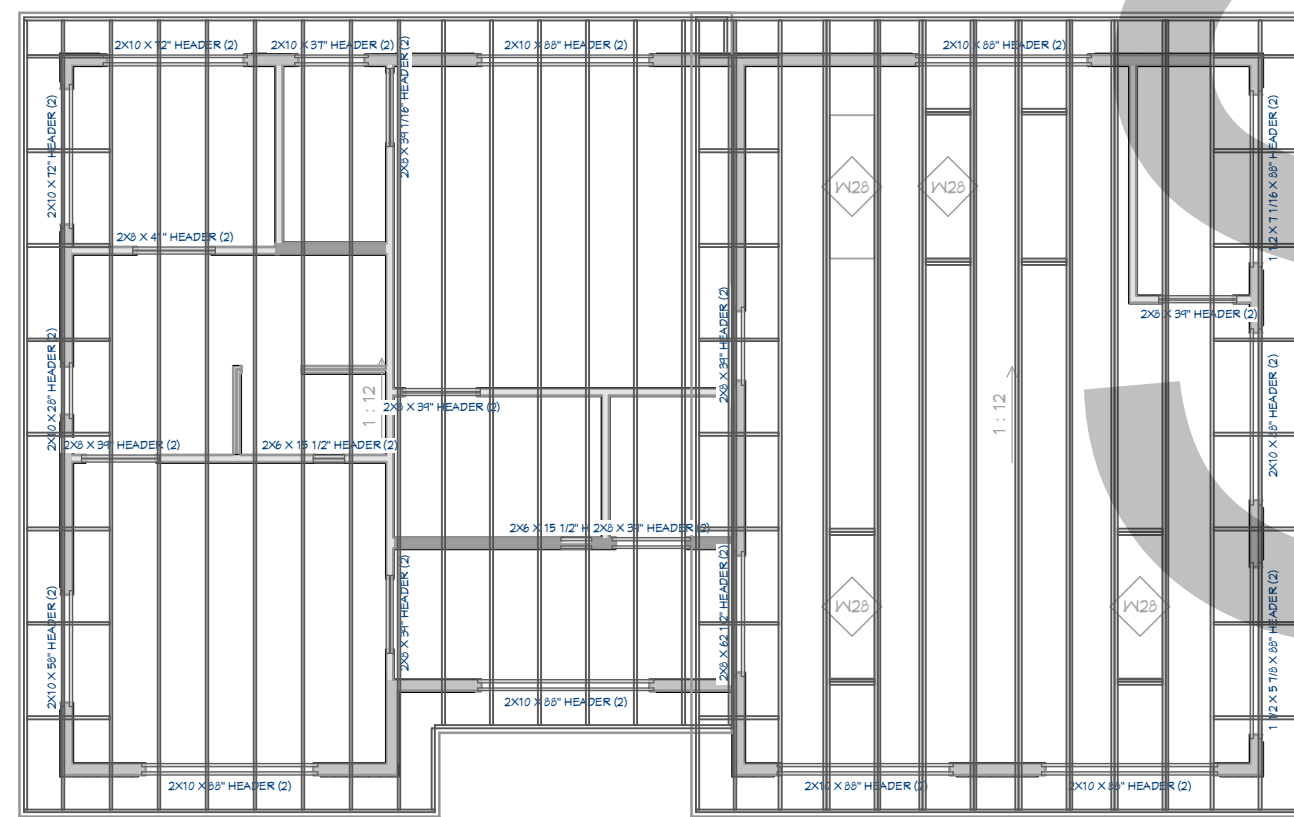
EXTERIOR WALL
FRAMING

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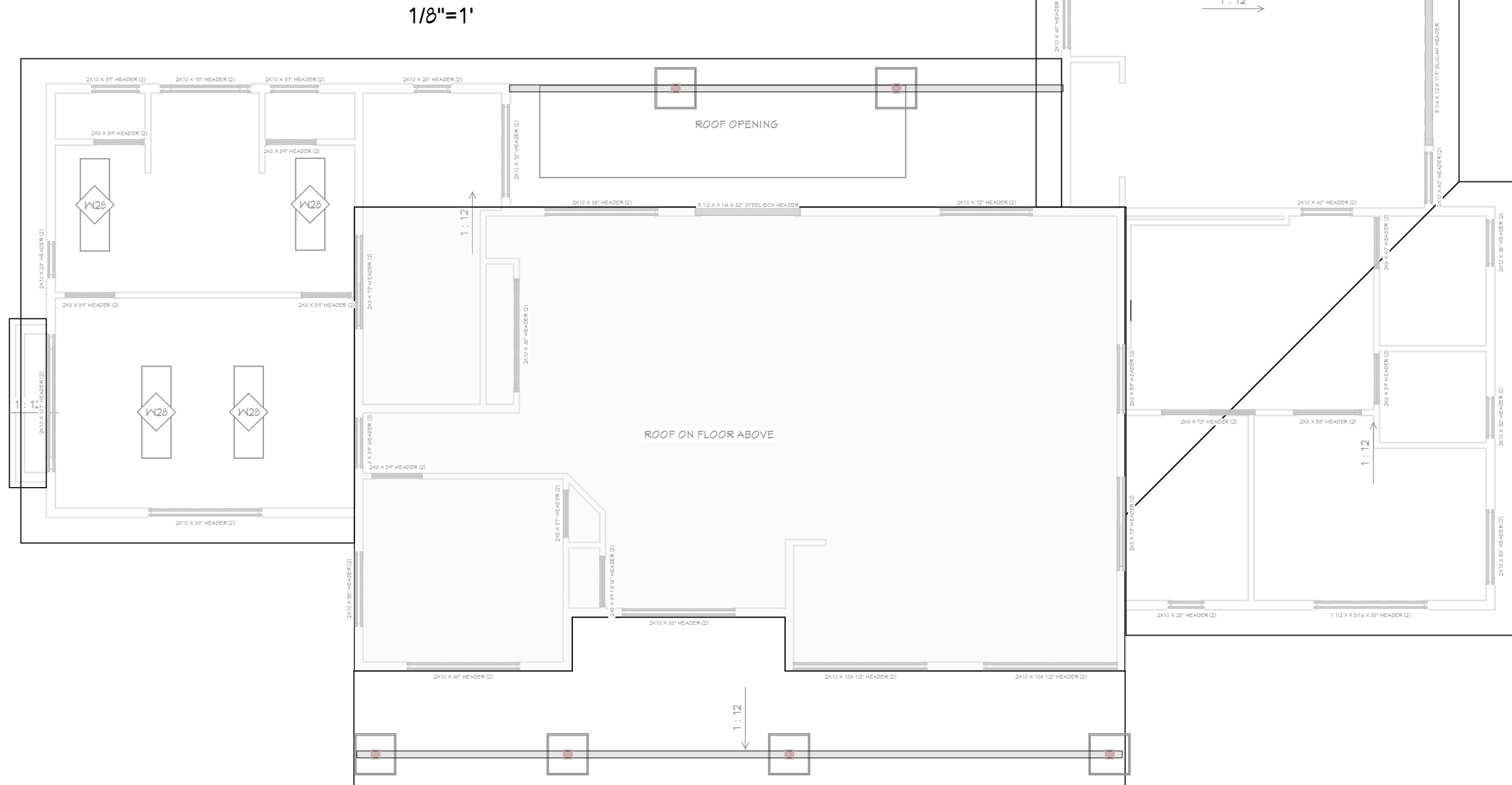
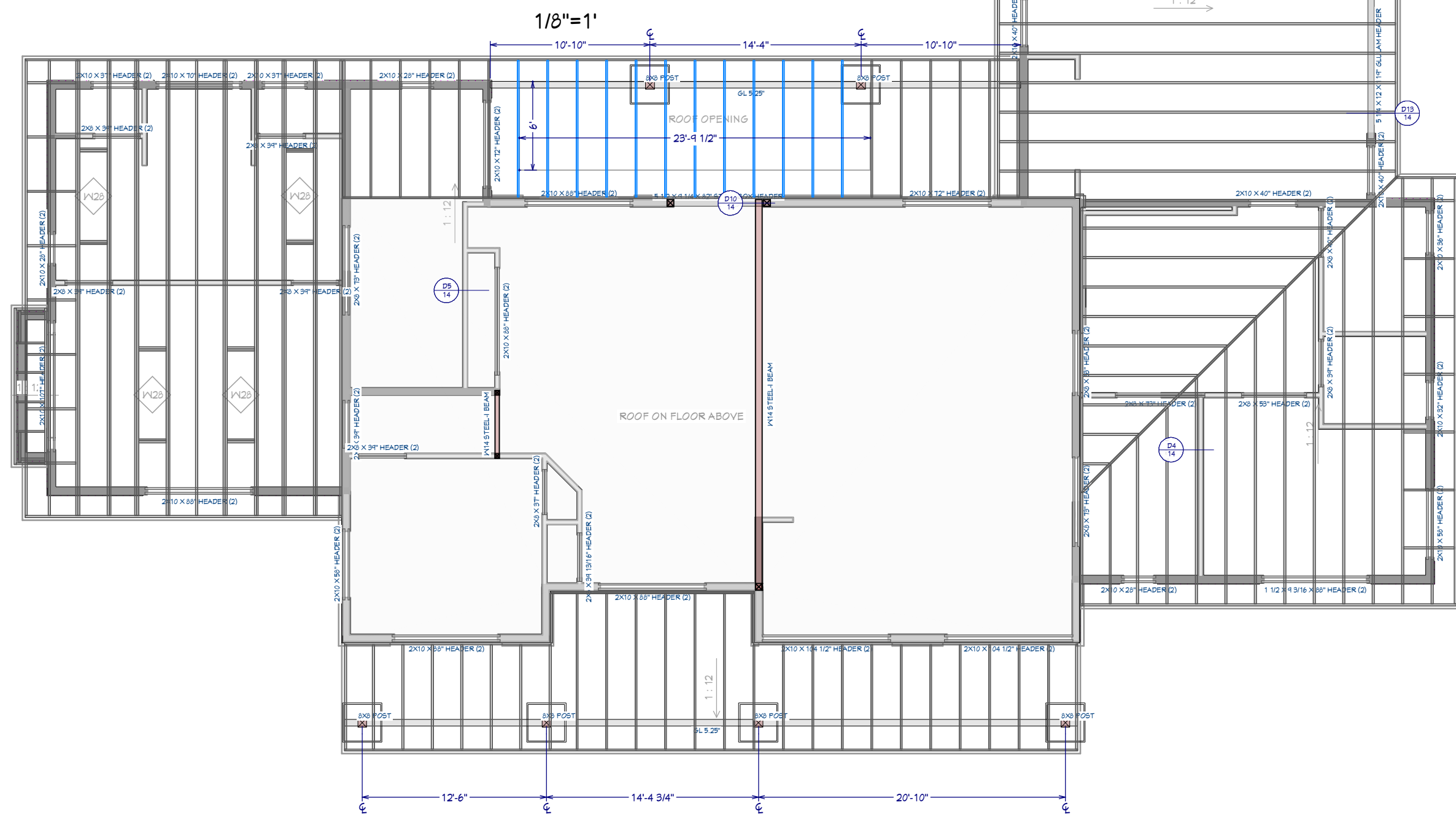


ROOF RENDERINGS
FOR ILLUSTRATION ONLY NO SCALE



ROOF FRAMING 2ND FLOOR

ROOF PLAN 2ND FLOOR



ROOF FRAMING 1ST FLOOR

ROOF PLAN 1ST FLOOR

ROOF & FRAMING NOTES:

1. FRAMING IS FOR ILLUSTRATION ONLY. ALL FRAMING SHALL BE INSTALLED & BRACED TO MANUFACTURER'S DRAWINGS & SPECIFICATIONS
2. ALL TRUSSES OR TJI'S SHALL CARRY MANUFACTURER'S STAMP
3. TRUSSES OR TJI'S SHALL NOT BE FIELD ALTERED WITHOUT PRIOR ENGINEERING APPROVAL
4. ALL TRUSSES OR TJI'S SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
5. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER
6. ROOF JOIST TO BE TJI 560 OR EQUIVALENT
7. ALL ROOF FRAMING 24" O.C. UNO
8. ALL ROOF OVERHANGS 21" UNO
9. INSTALL ICE SHIELD AS REQUIRED
10. INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
11. MIN. SNOW LOAD SHALL BE 25 LBS PER SQUARE FOOT
12. ROOF SHEATHING 15/32" OSB OR 1/2" PLYWOOD 32/16 APA RATED W/ bd @ 6" O/C ALL SUPPORTED PANEL EDGES, 12" O/C FIELD
13. ROOF TRUSS OR TJI'S MANUFACTURER:

SHEET NUMBER

11

SCALE @ 24" X 36"

DATE:

DRAWN BY: S.H.

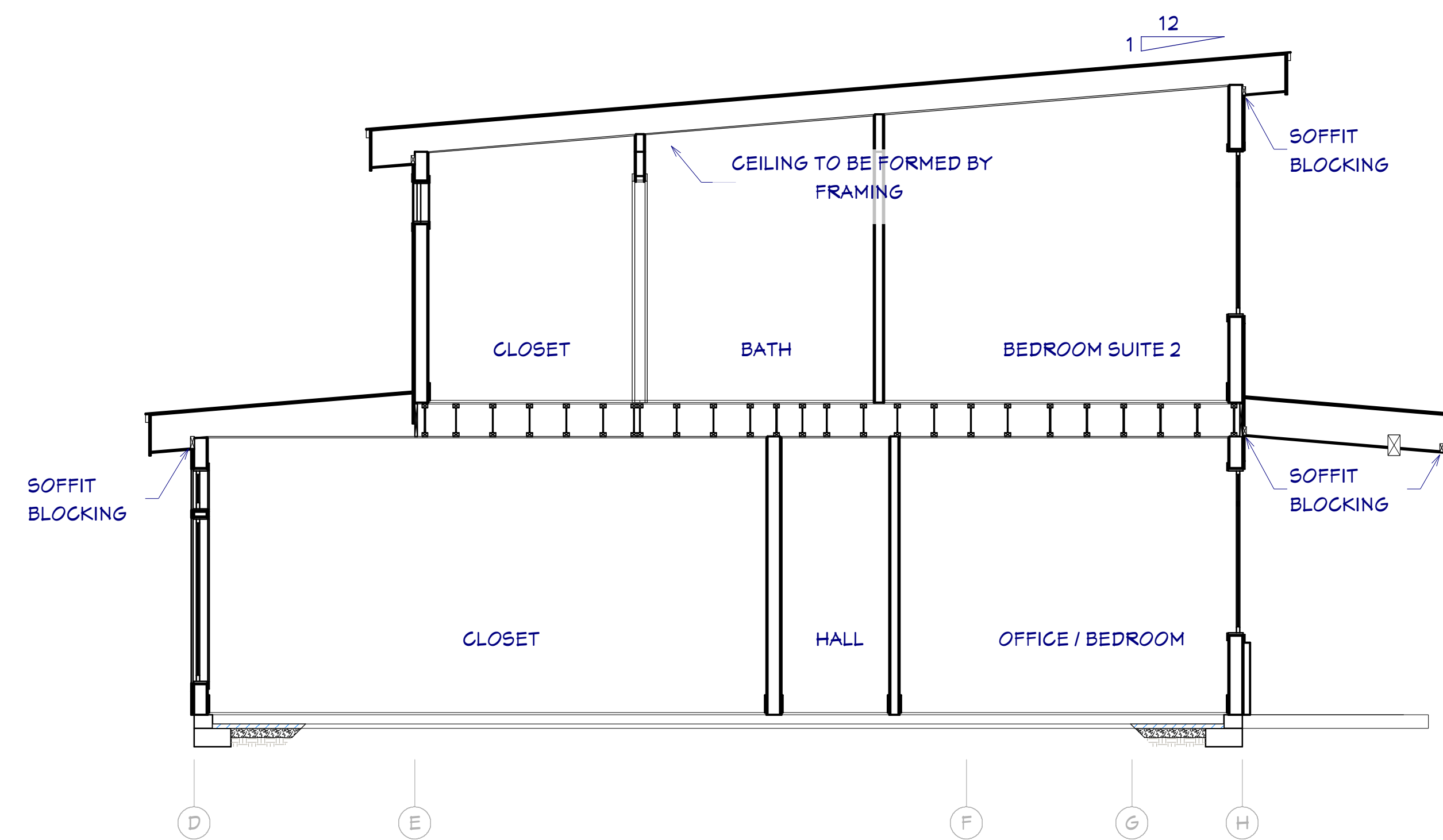
ROOF & FRAMING
PLAN

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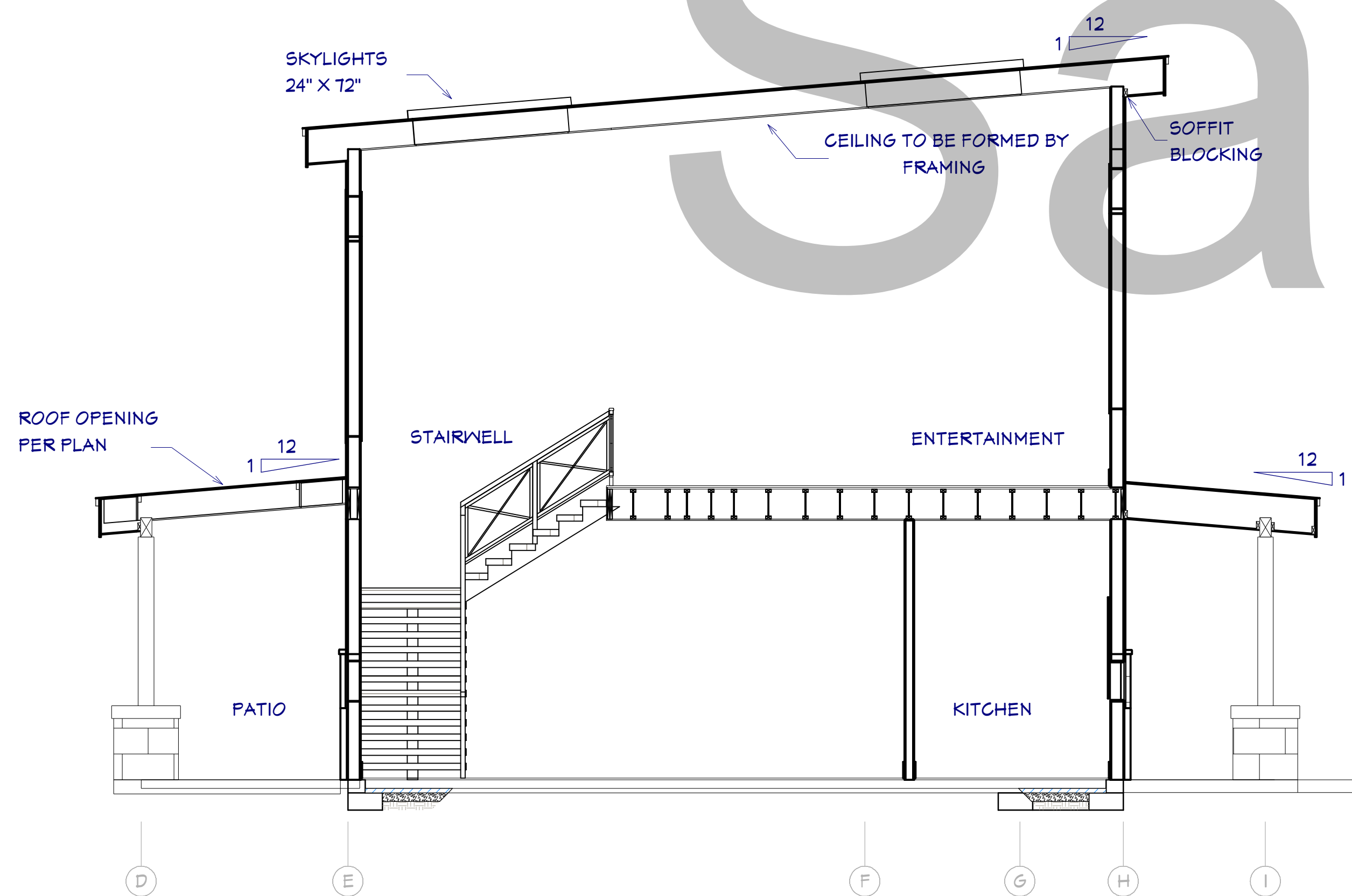
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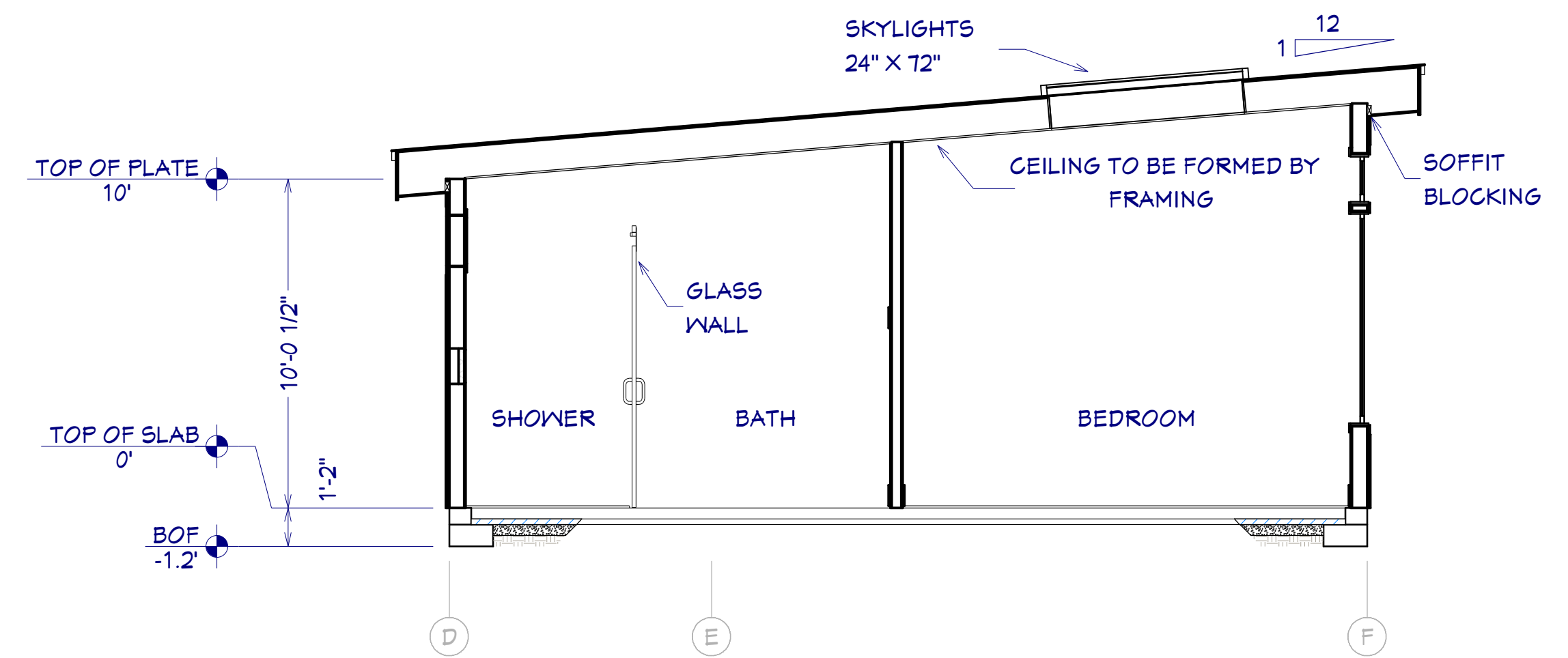
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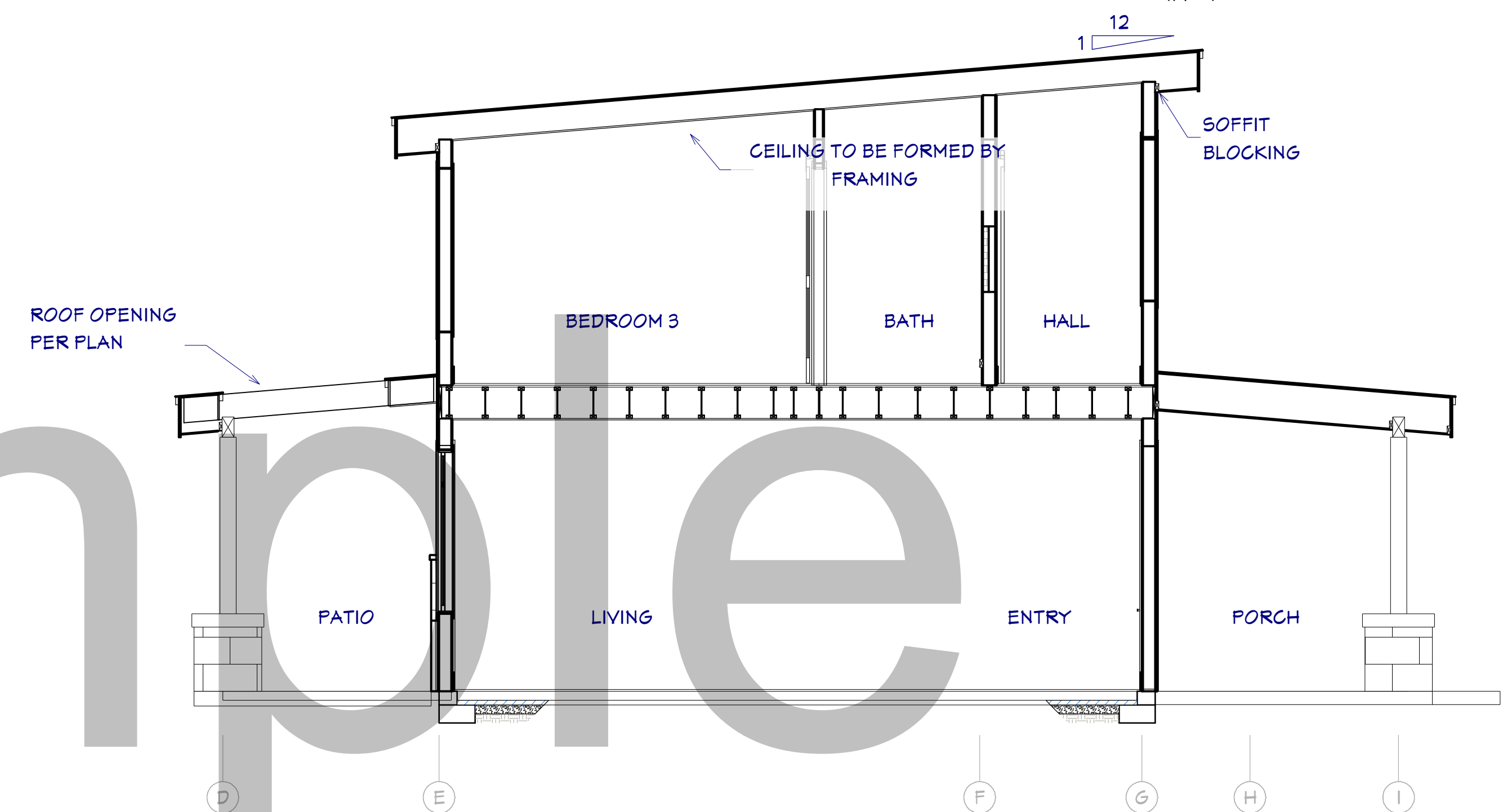
S2 SECTION @ CLOSET SUITE
1/4"=1'



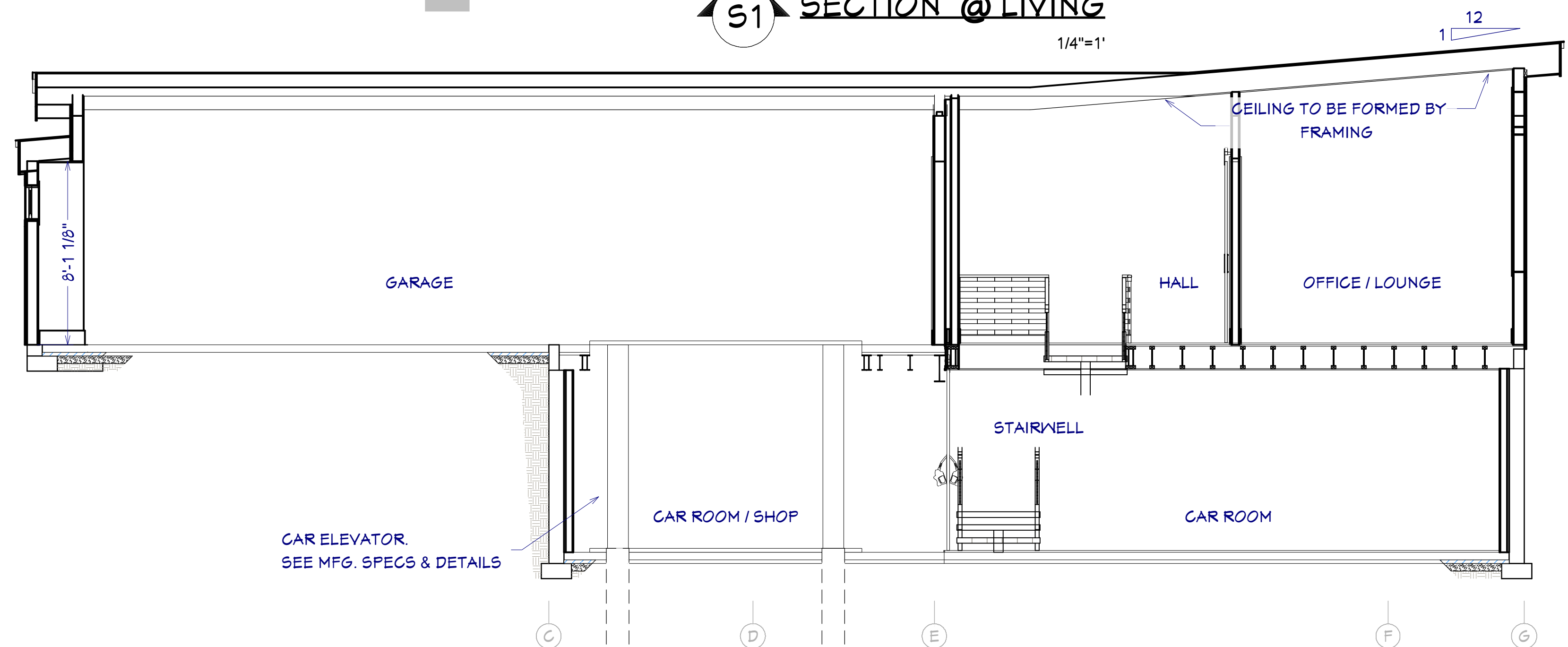
S4 SECTION @ KITCHEN
1/4"=1'



S1 SECTION @ BEDROOM SUITE
1/4"=1'



S1 SECTION @ LIVING
1/4"=1'



S6 SECTION @ GARAGE
1/4"=1'

SHEET NUMBER
12

SCALE @ 24" X 36"
DATE:
DRAWN BY: S.H.

SECTIONS & DETAILS

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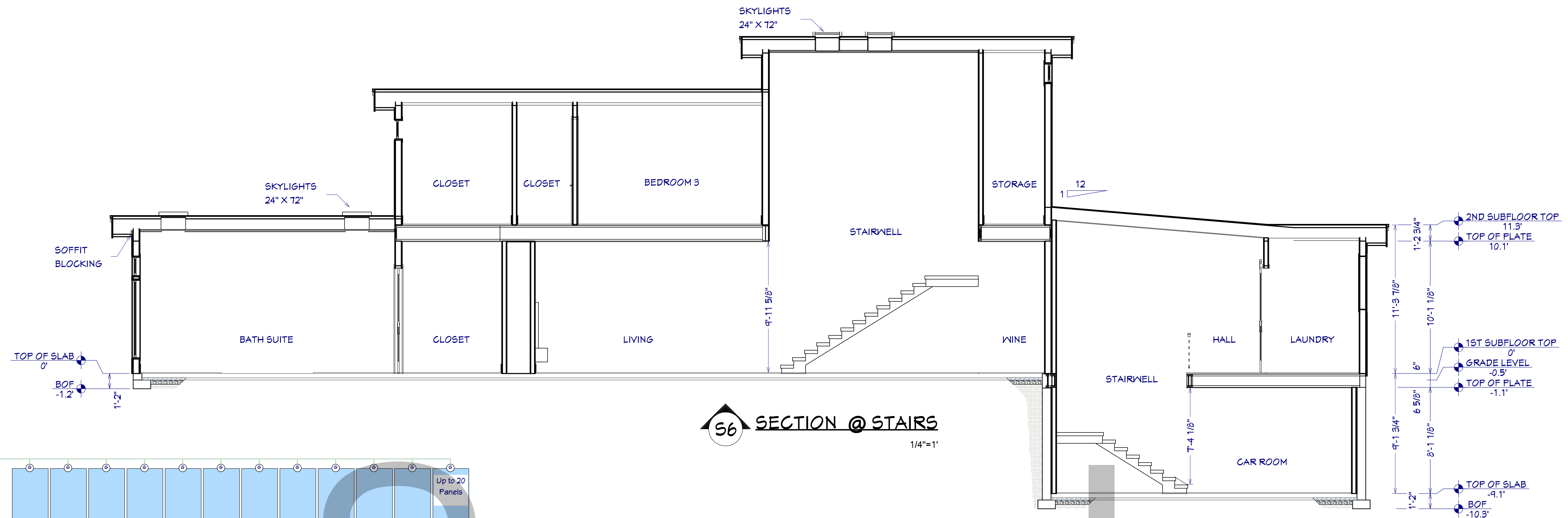
SECTIONS & DETAILS

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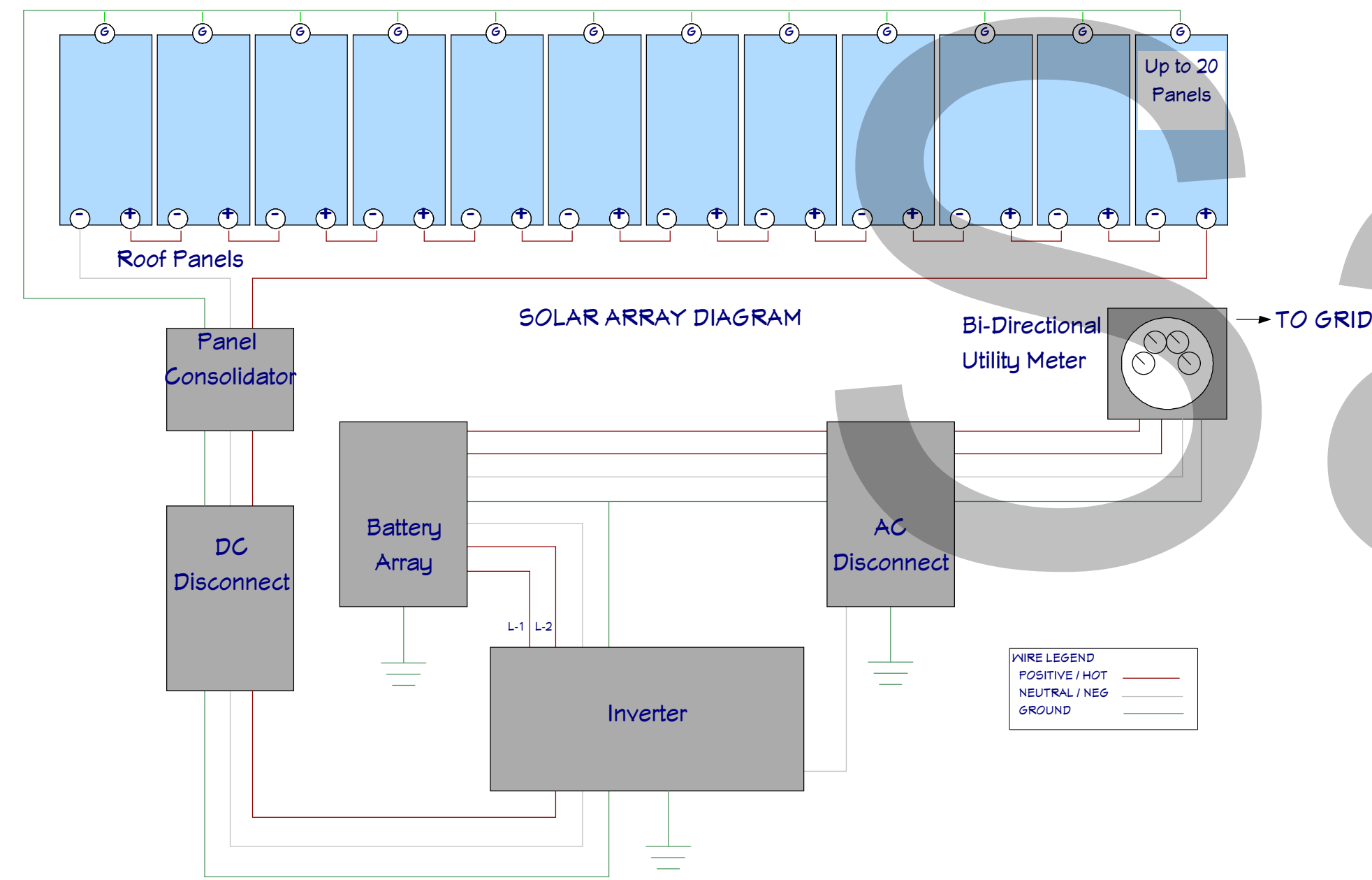
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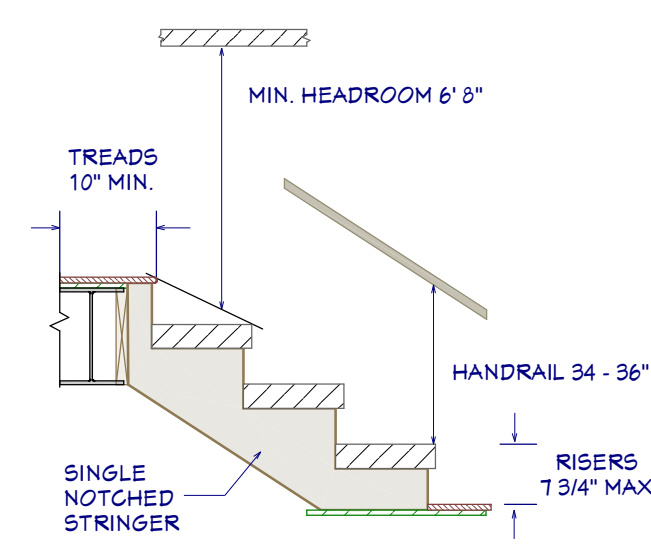
S6 SECTION @ STAIRS
1/4"=1'



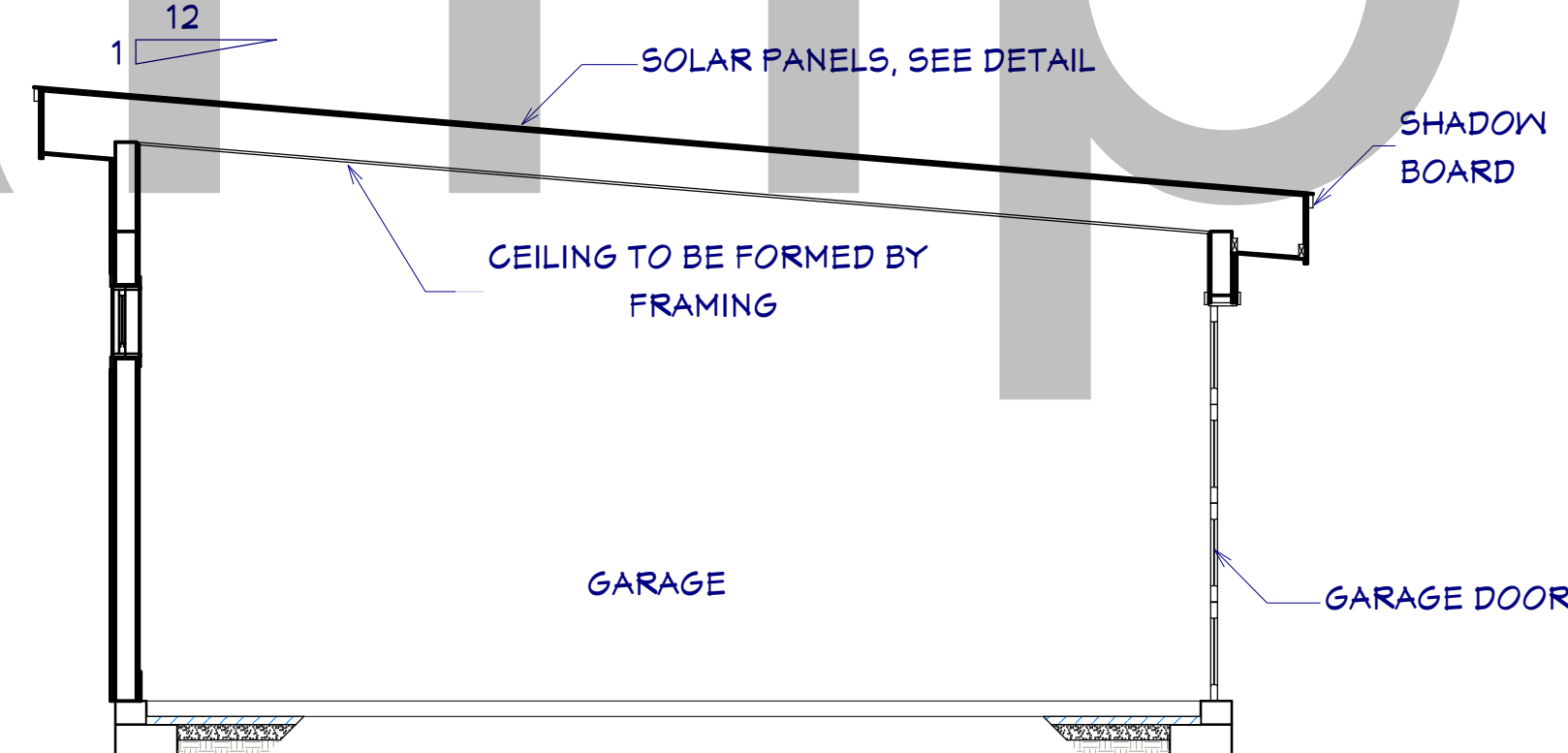
SOLAR ARRAY DETAIL
1/4" = 1'

STAIR NOTES:

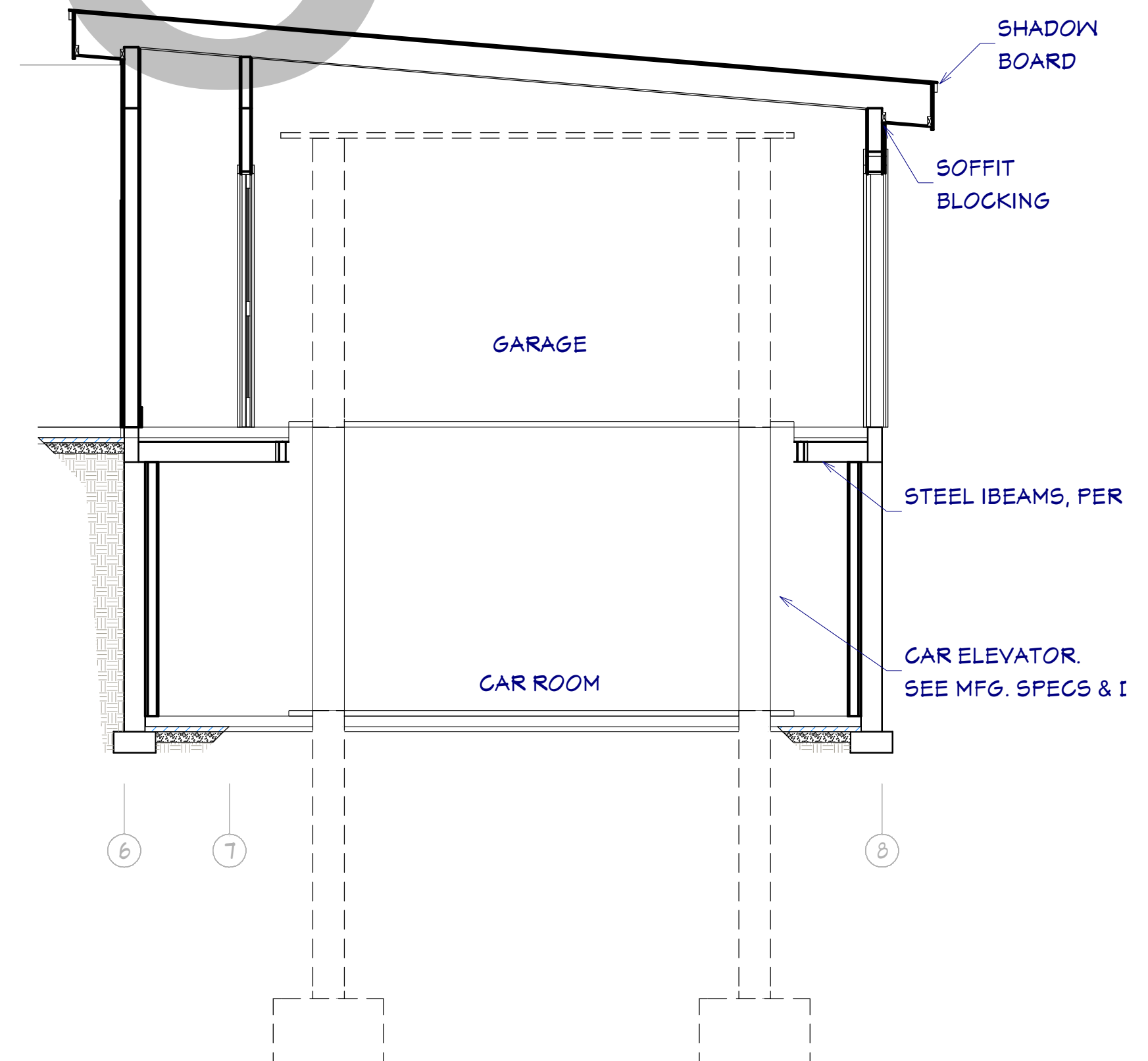
1. STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCROACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.
2. TREADS SHALL HAVE A MIN. WIDTH OF 10". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".
3. STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
4. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.
5. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
6. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
7. STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.
8. GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW AND SHALL HAVE A 34" MIN. HEIGHT
9. RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".
10. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.



STAIR DETAIL
1/2" = 1'

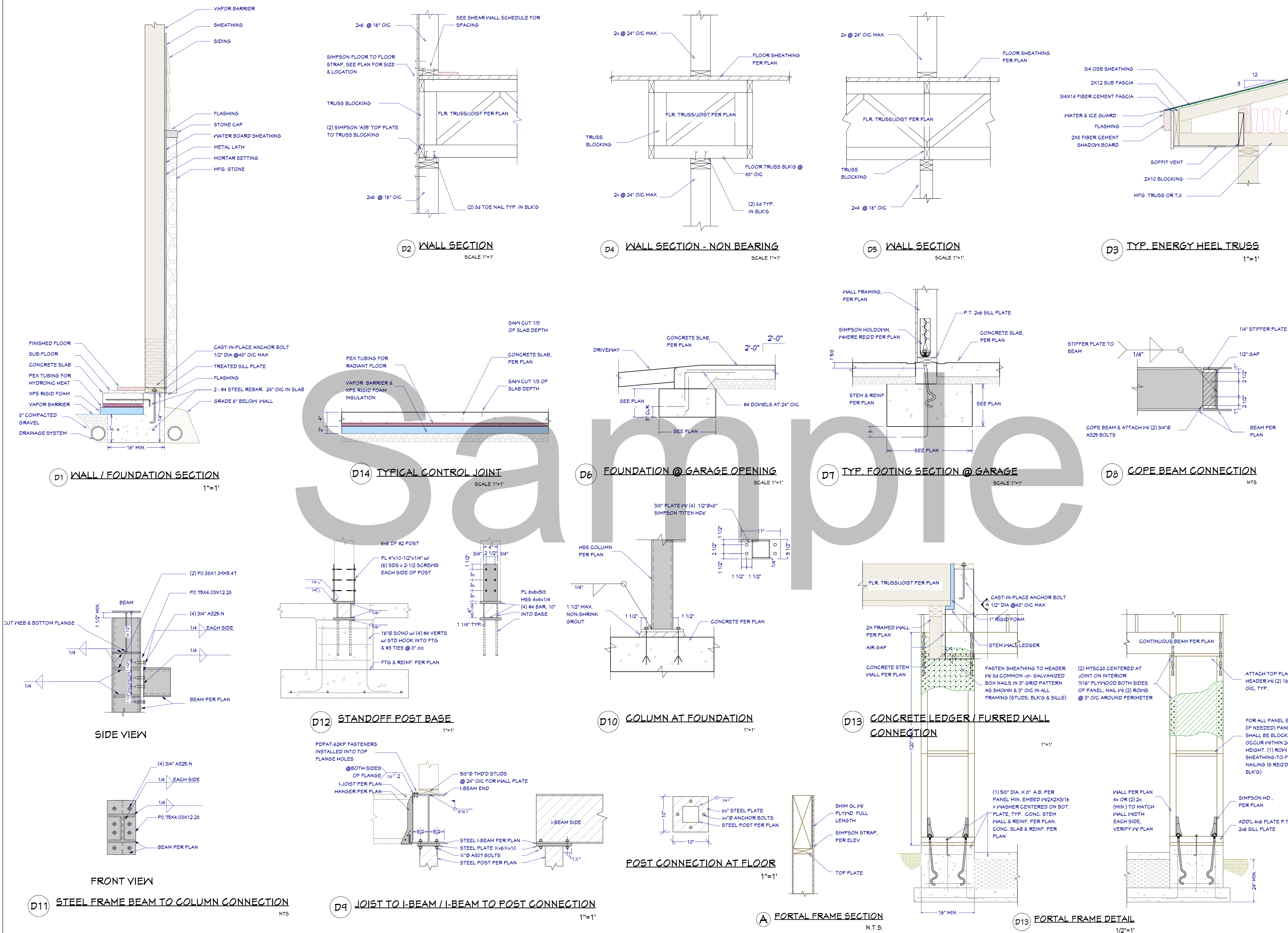


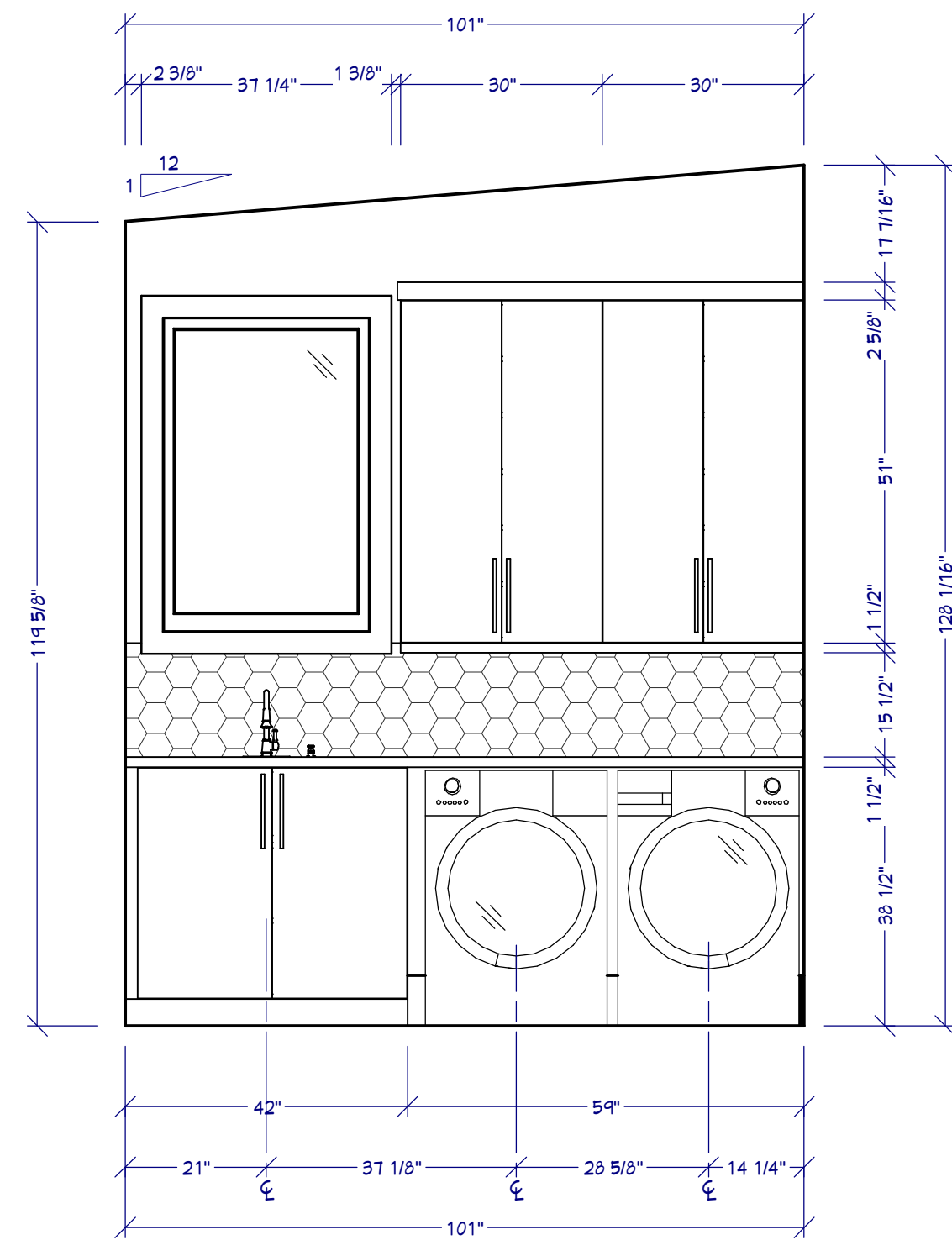
S8 SECTION @ GARAGE
1/4"=1'



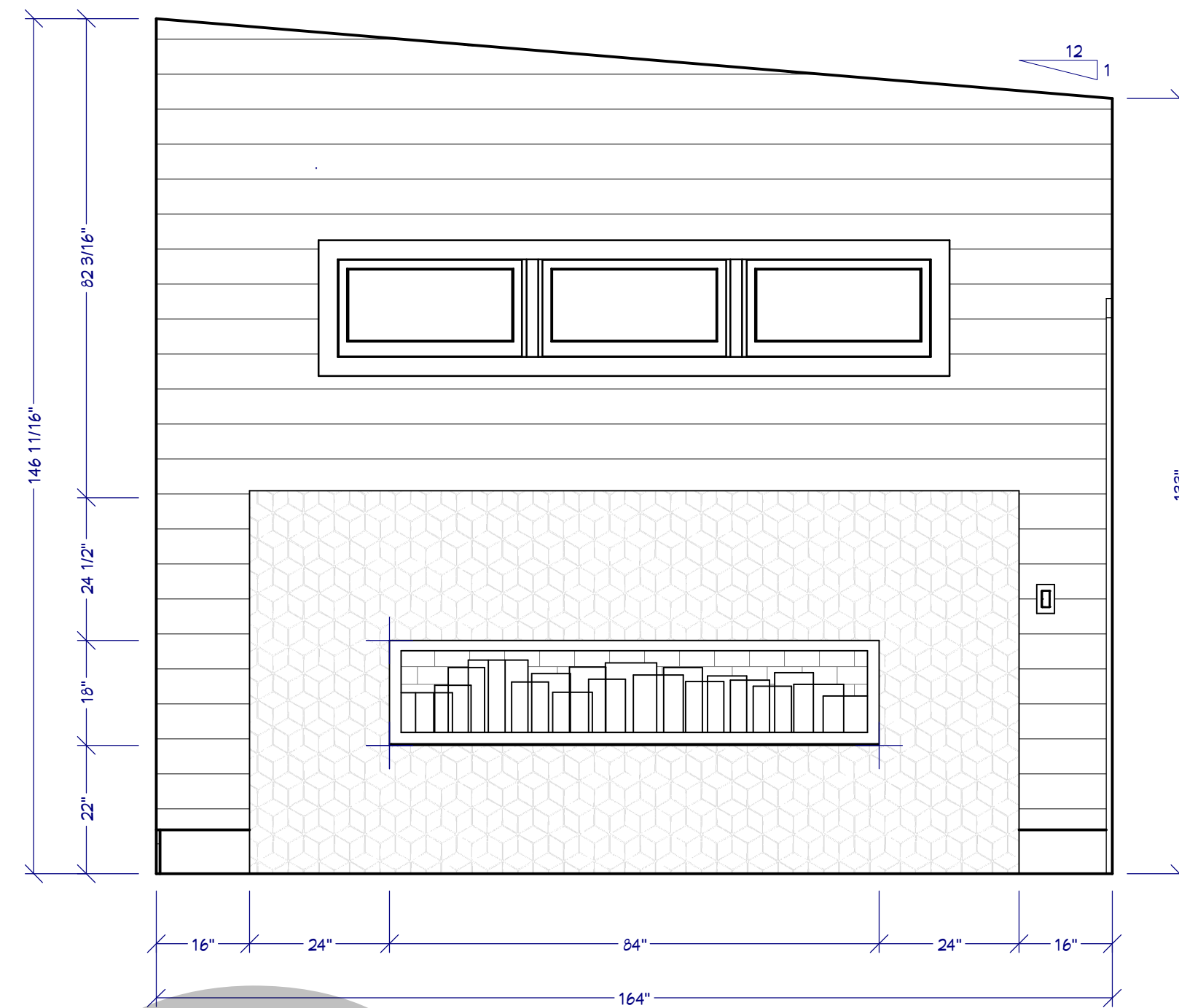
S7 SECTION @ CAR ROOM
1/4"=1'

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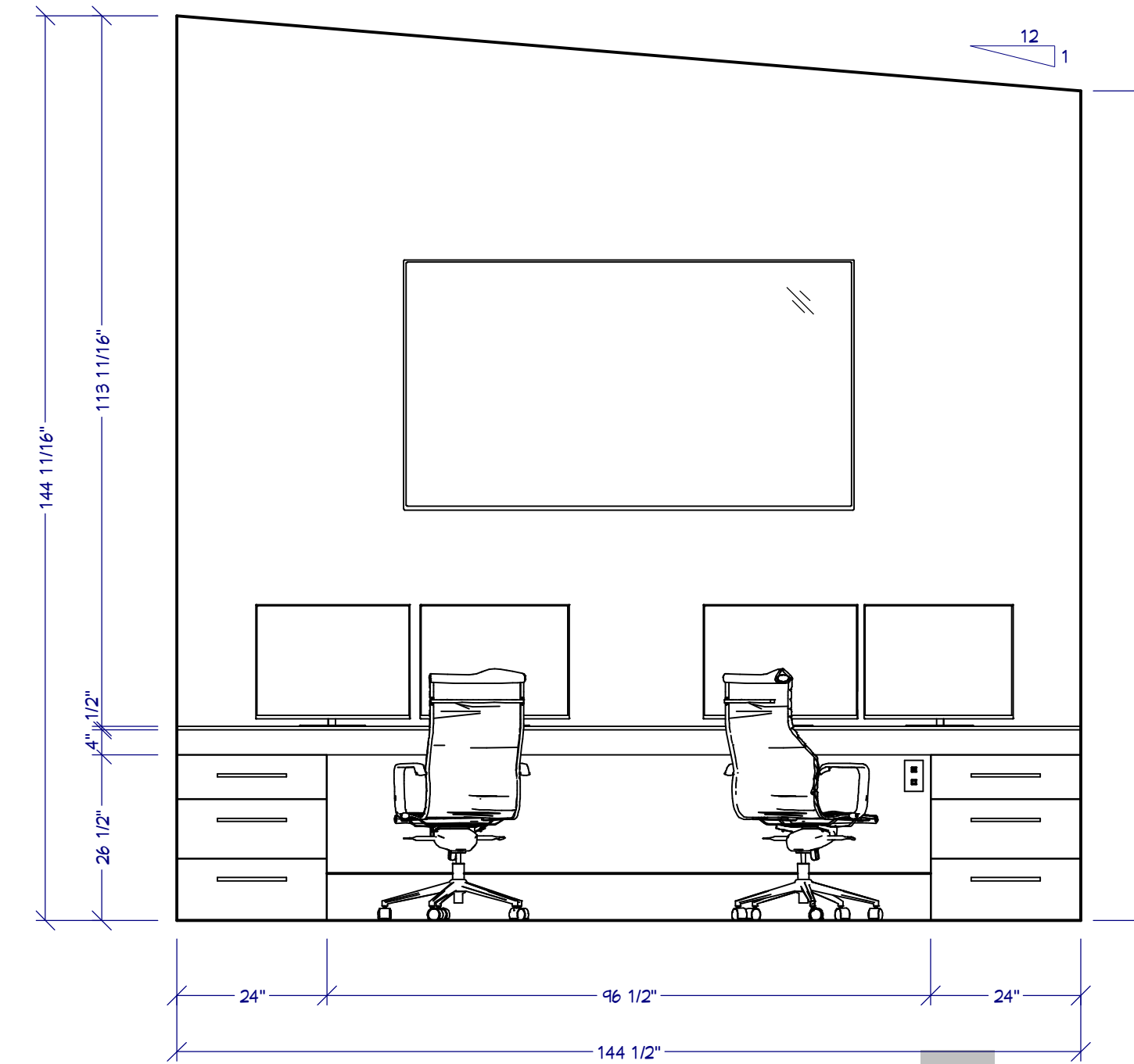




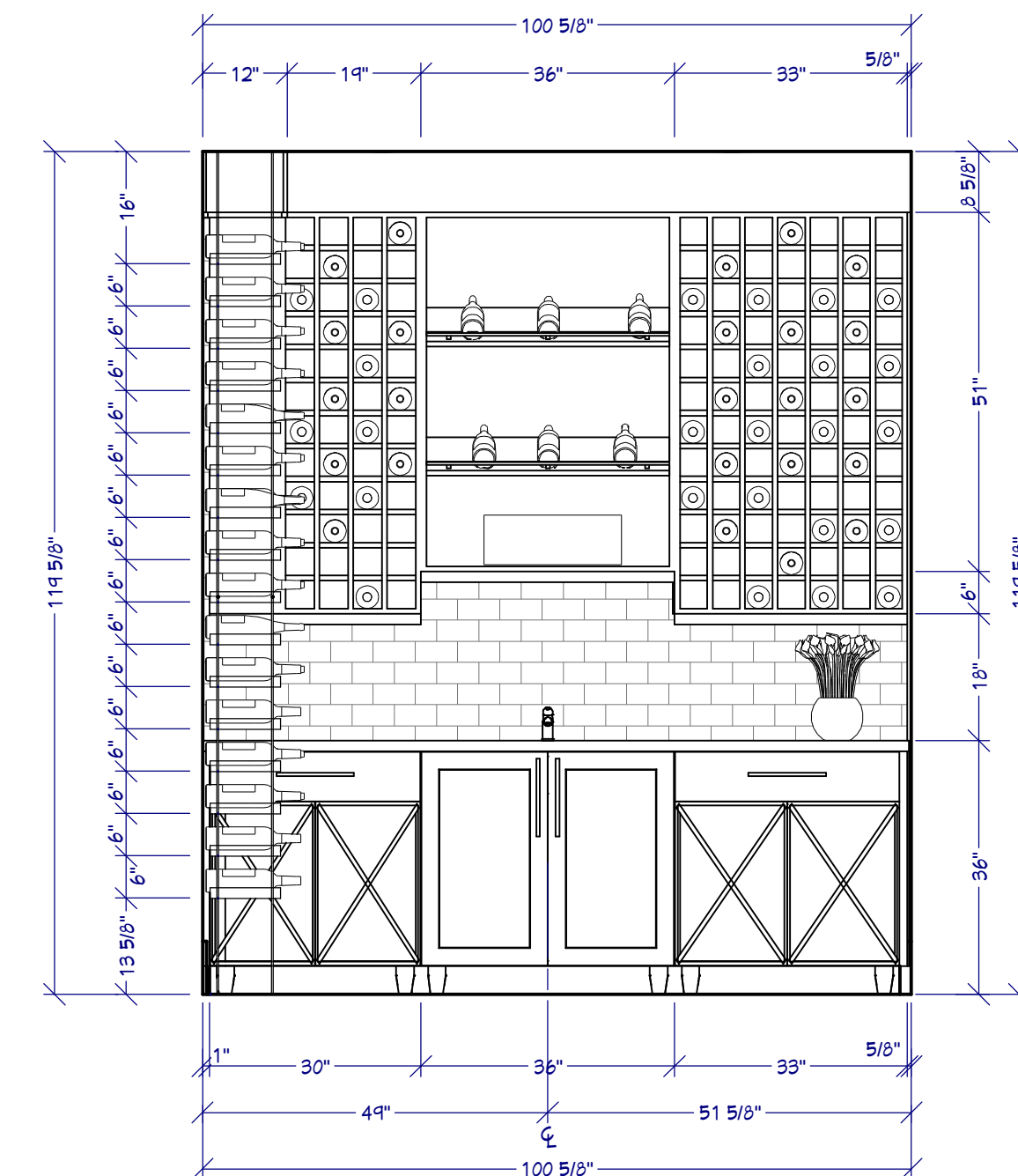
L1 LAUNDRY ELEVATION
1/2"=1'



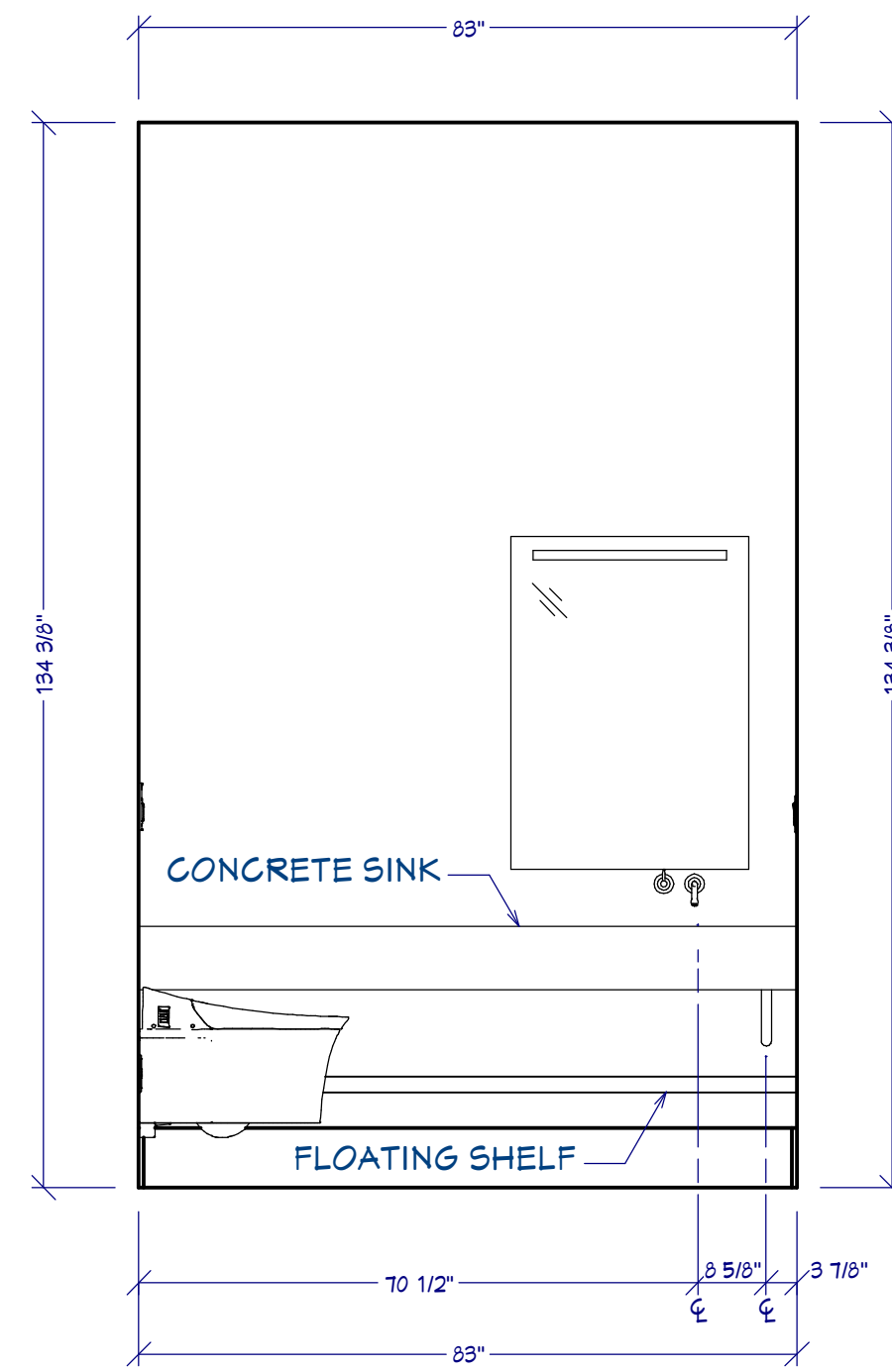
L4 BEDROOM SUITE ELEVATION
1/2"=1'



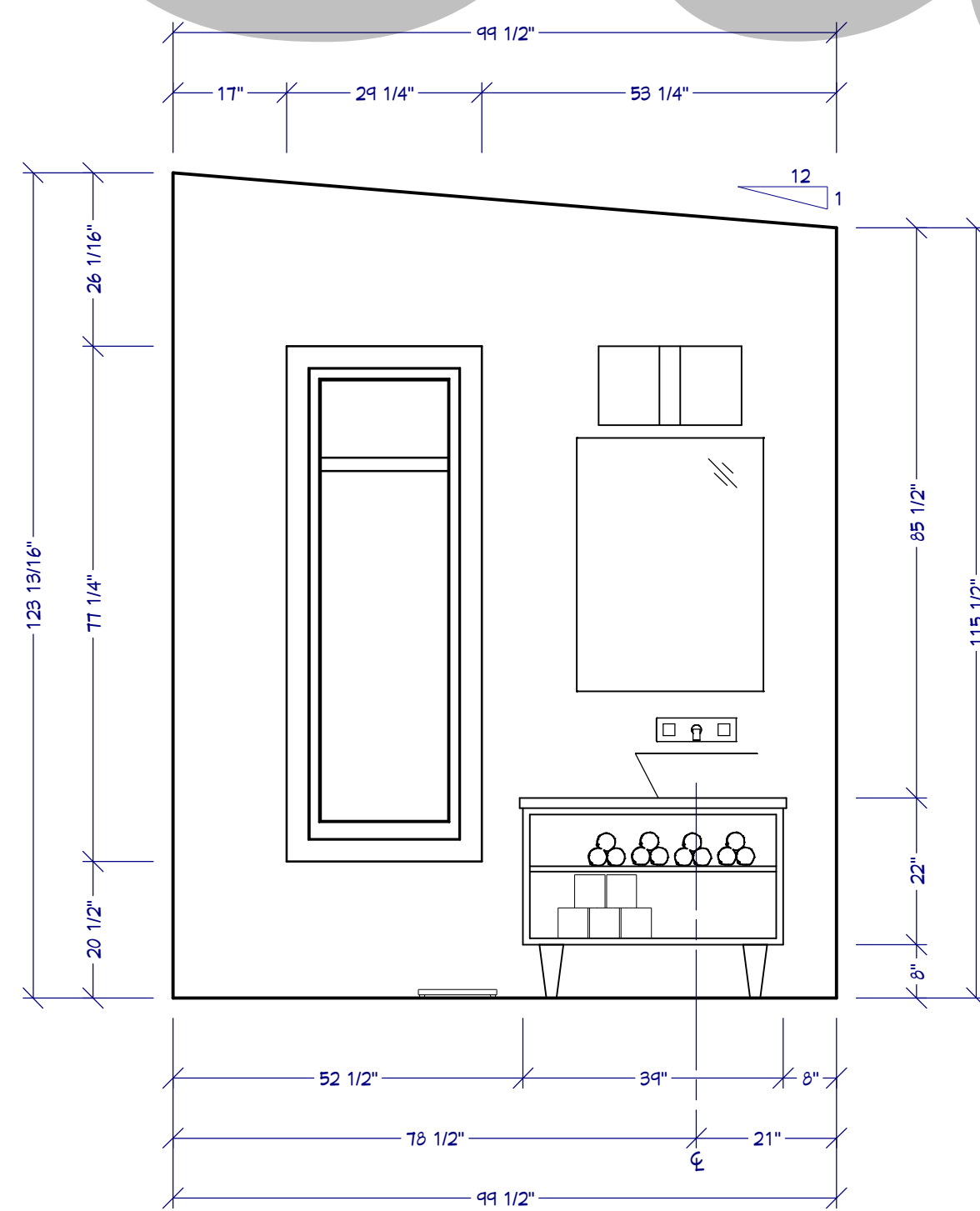
L3 OFFICE ELEVATION
1/2"=1'



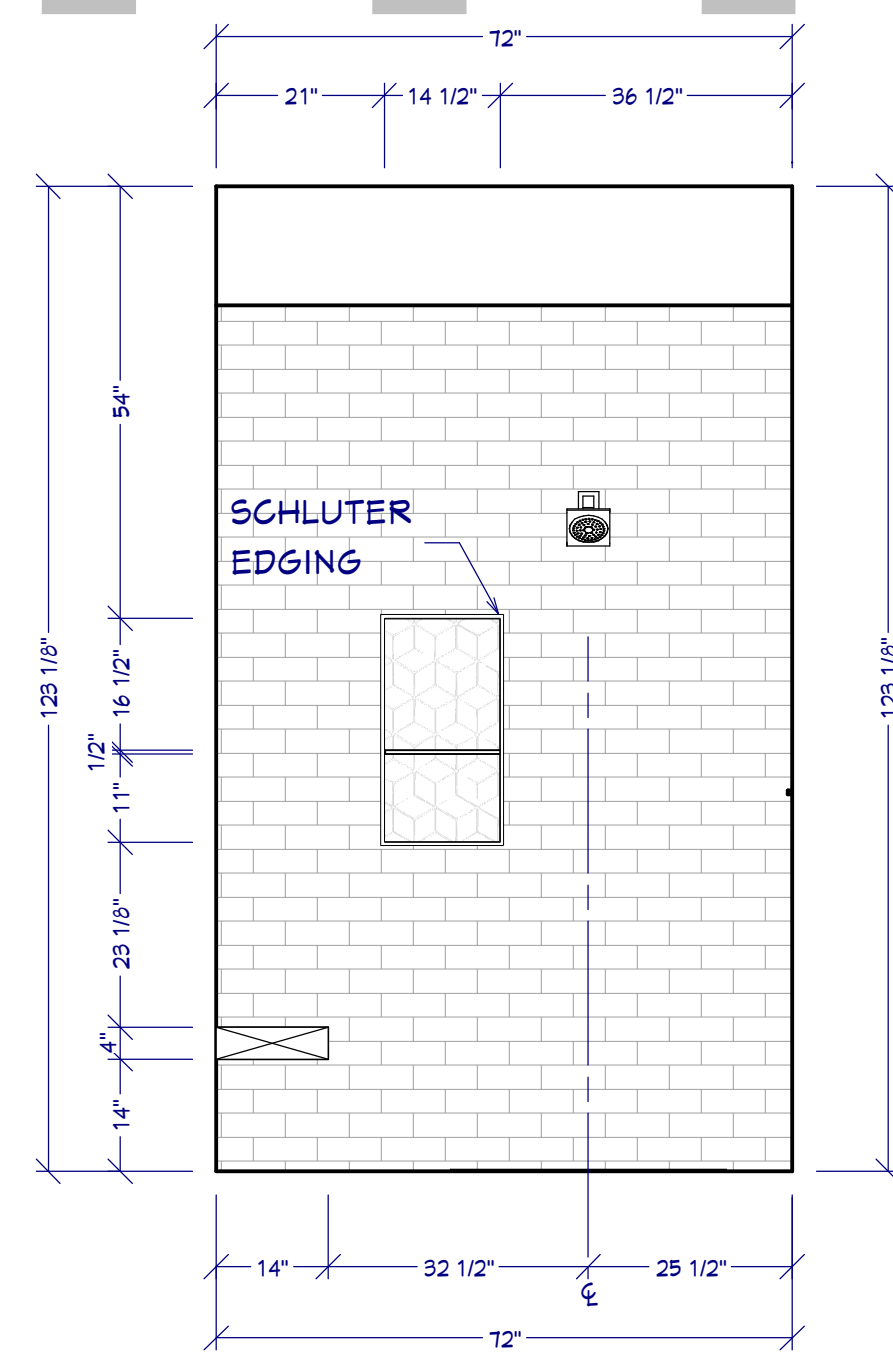
L5 WINE ROOM ELEVATION
1/2"=1'



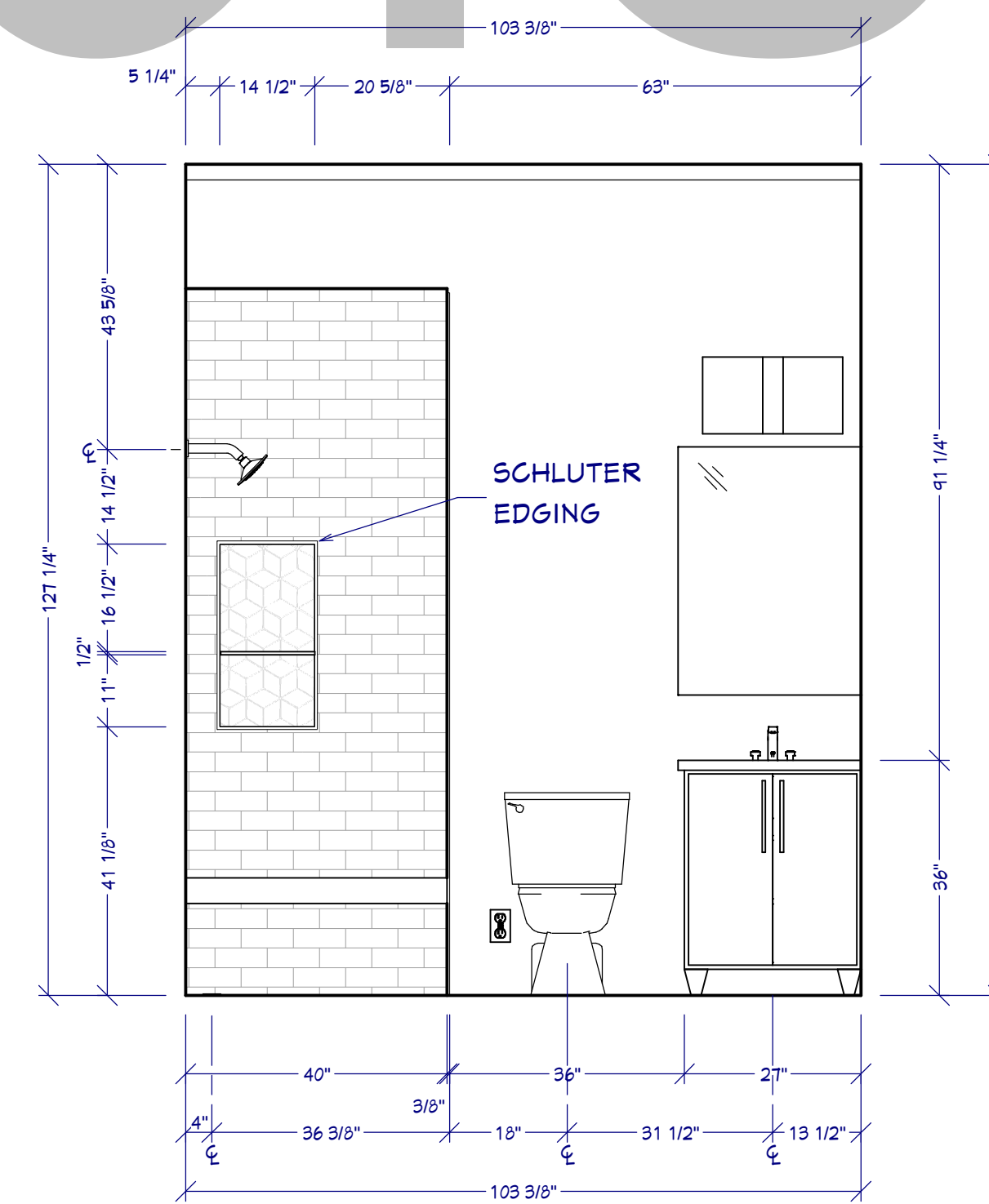
B4 POWDER ELEVATION
1/2"=1'



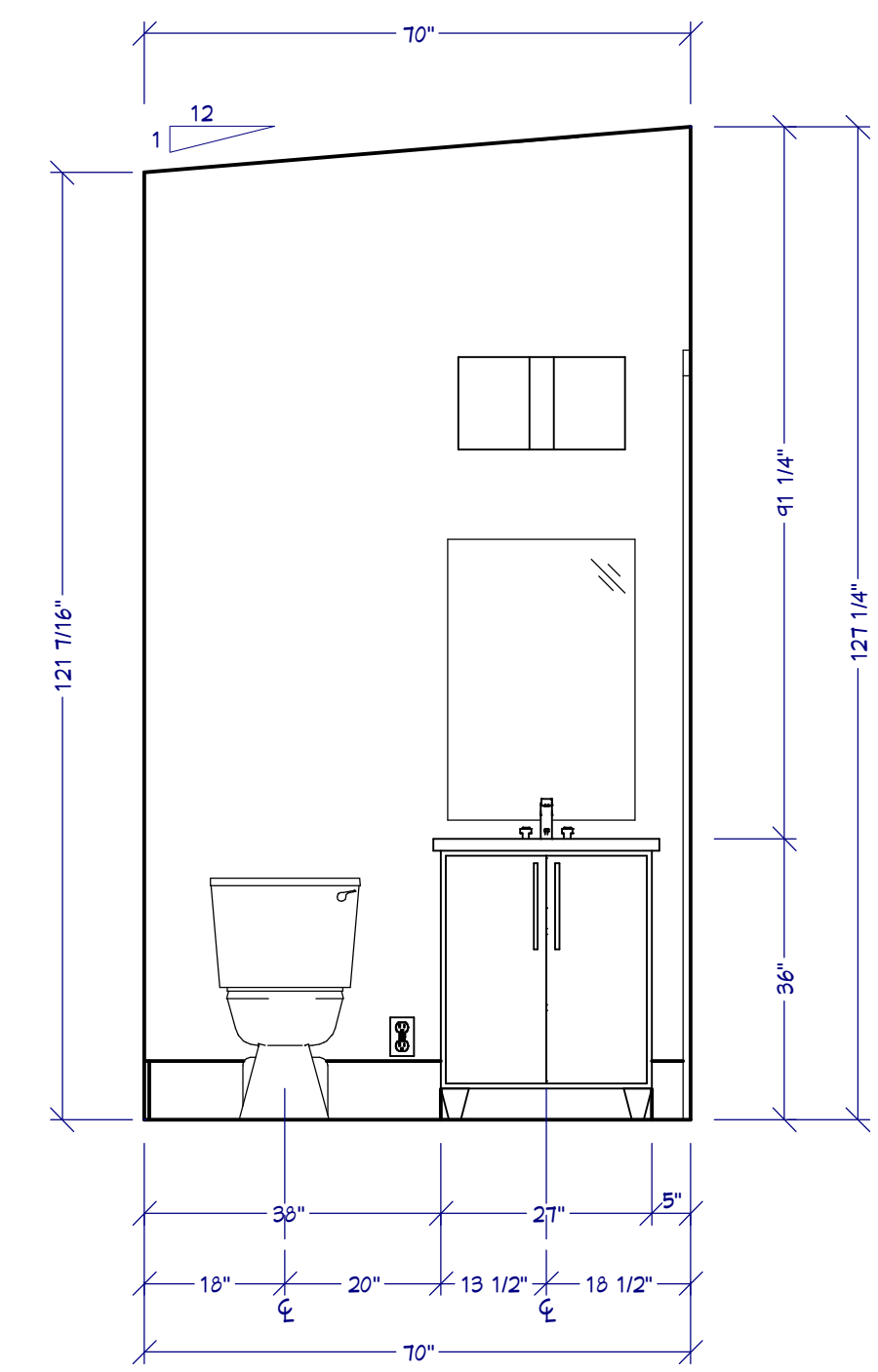
B5 BATH SUITE 2 ELEVATION
1/2"=1'



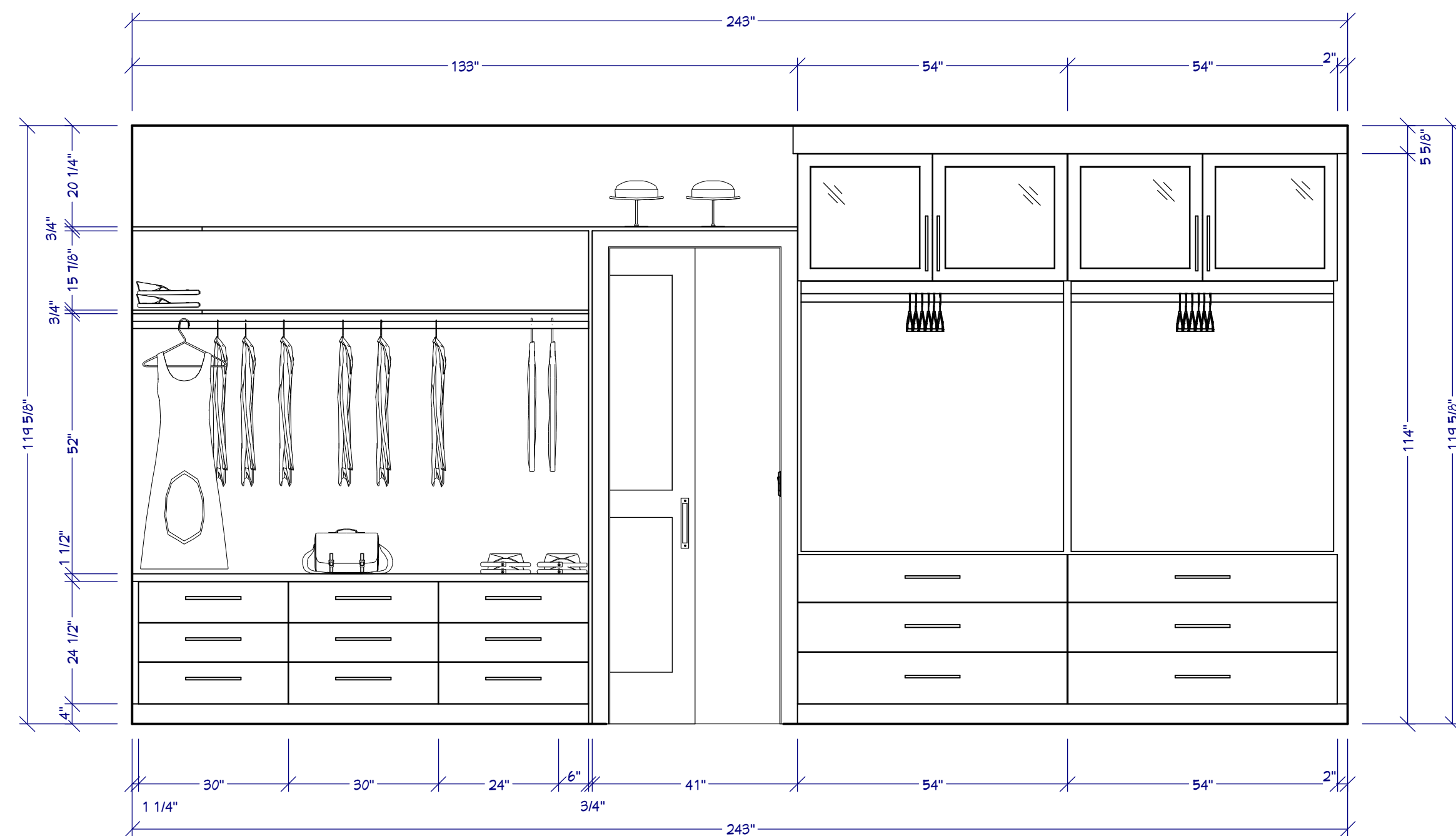
B6 BATH SUITE 2 ELEVATION
1/2"=1'



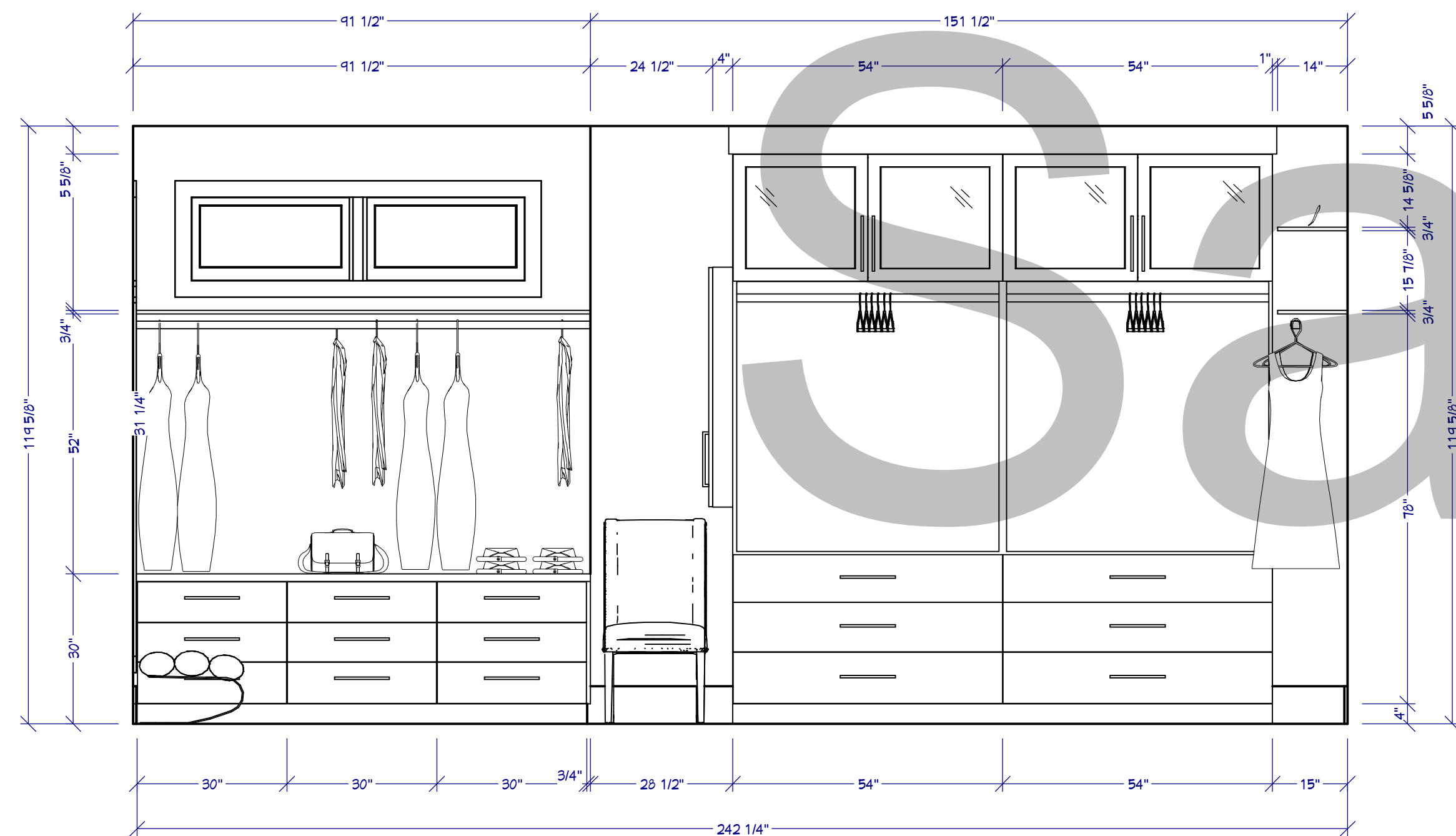
B7 BATH 3 ELEVATION
1/2"=1'



B8 POWDER 2 ELEVATION
1/2"=1'



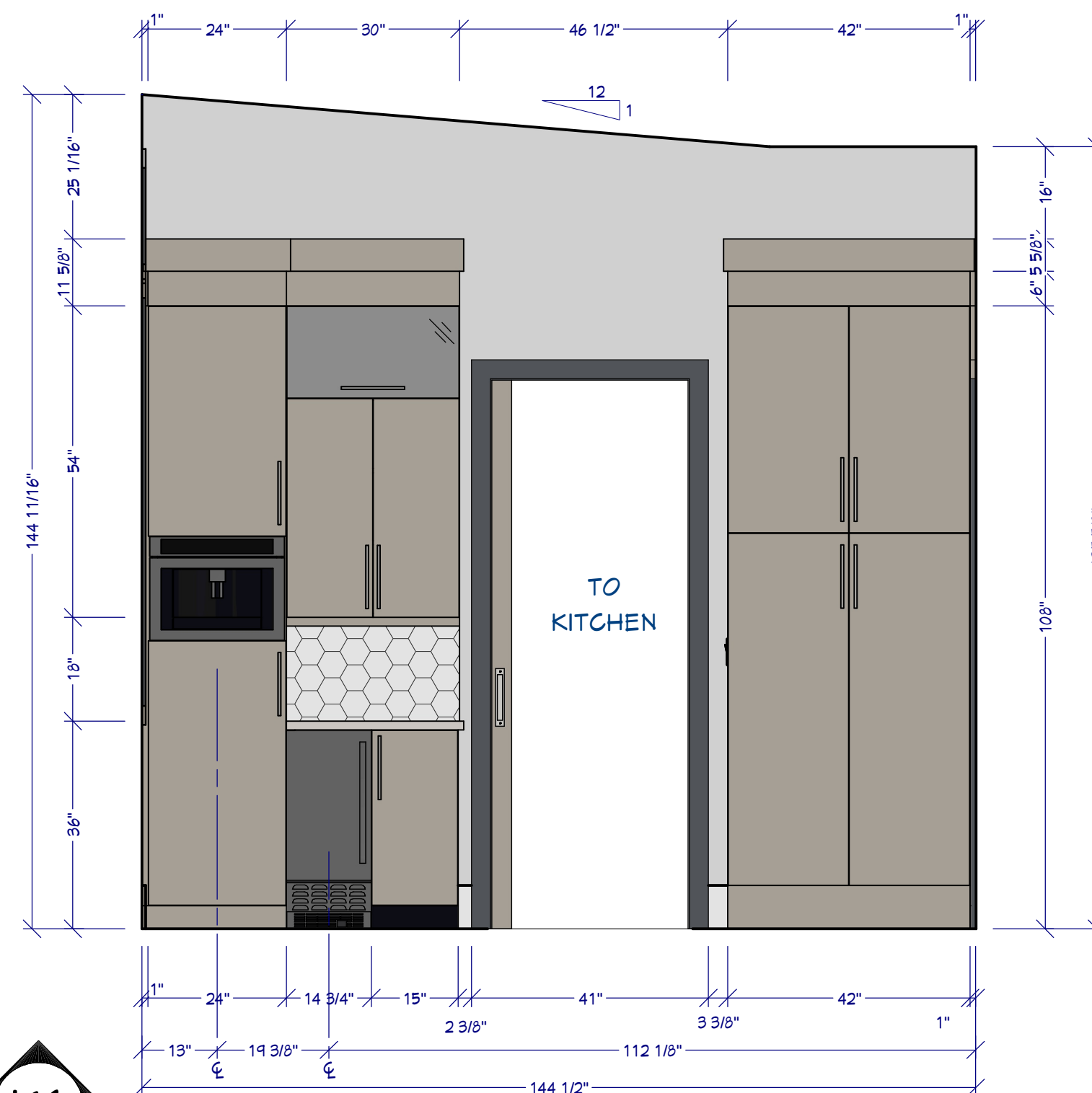
C1 CLOSET ELEVATION
1/2"=1'



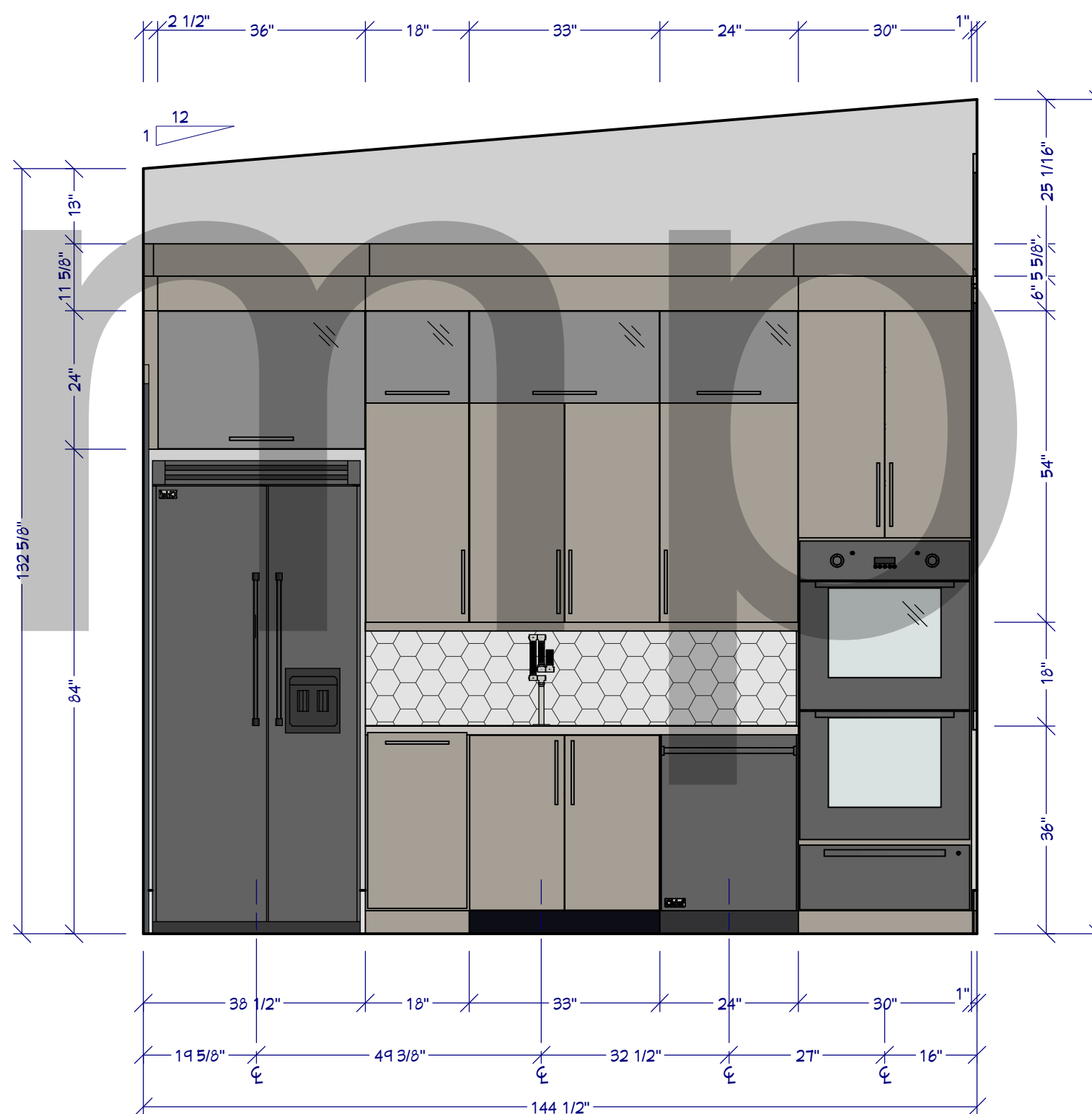
C2 CLOSET ELEVATION
1/2"=1'



CLOSET SUITE RENDER
FOR ILLUSTRATION ONLY NO SCALE



K6



K7

BUTLER PANTRY ELEVATION
1/2"=1'



LIVING ROOM RENDER
FOR ILLUSTRATION ONLY NO SCALE



BEDROOM SUITE RENDER
FOR ILLUSTRATION ONLY NO SCALE



ENTERTAINMENT RENDER
FOR ILLUSTRATION ONLY NO SCALE



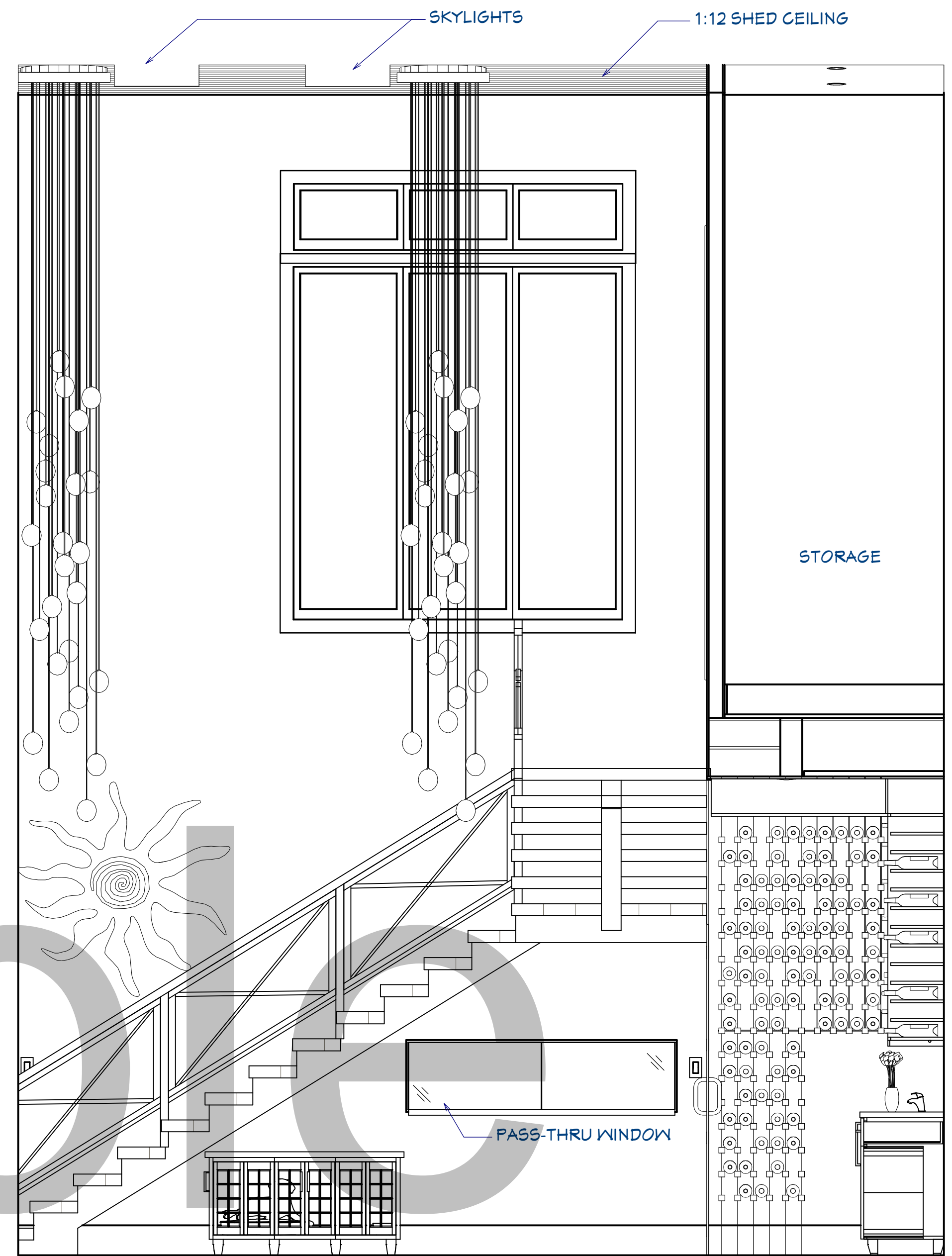
CAR ROOM RENDER
FOR ILLUSTRATION ONLY NO SCALE



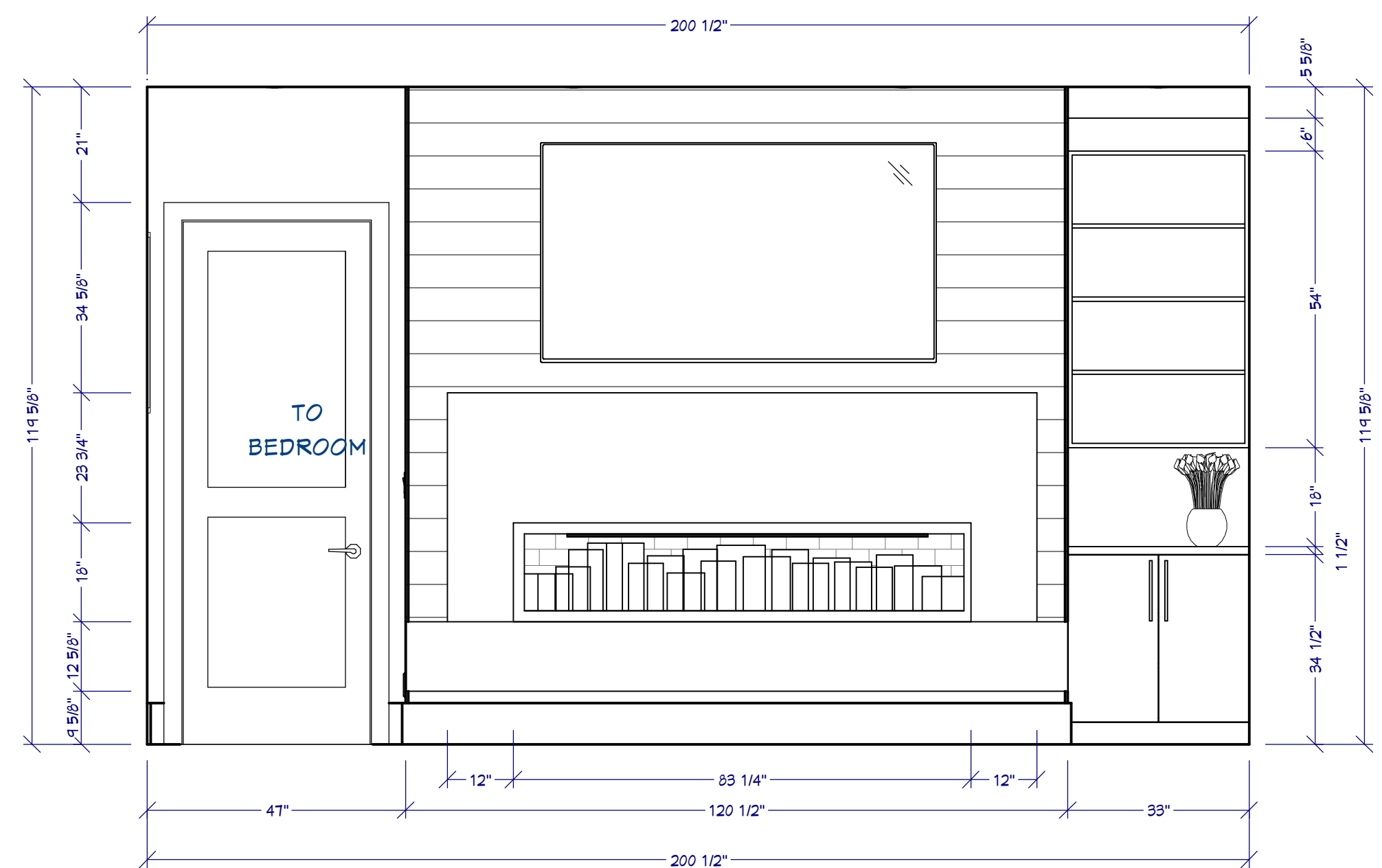
3D CUT-AWAY RENDER
FOR ILLUSTRATION ONLY NO SCALE



KITCHEN TO LIVING RENDER
FOR ILLUSTRATION ONLY NO SCALE



L6 STAIRWAY ELEVATION
1/2"=1'



L2 LIVING ELEVATION
1/2"=1'

SHEET NUMBER
17

SCALE @ 24" X 36"
DATE:
DRAWN BY: S.H.

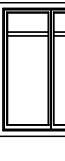
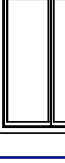















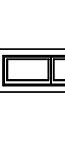

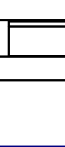

**ELEVATIONS &
PERSPECTIVES**

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WINDOW & SKYLIGHT SCHEDULE

WINDOW SCHEDULE						
EXTERIOR ELEVATION NUMBER	KEY	SIZE	DEPTH	DESCRIPTION	QTY	
	W02	6	1080TC	34"	12"	TRIPLE CASEMENT-LHURHR
	W04	1	1080TC	34"	10"	TRIPLE CASEMENT-LHURHR
	W05	3	1078TC	34"	10"	TRIPLE CASEMENT-LHURHR
	W06	3	4860DC	34"	12"	DOUBLE CASEMENT-LHURHR
	W07	5	2085DC	24"	12"	SINGLE CASEMENT-HR
	W08	1	2840DC	32"	48"	SINGLE CASEMENT-HR
	W09	1	2440DC	28"	48"	SINGLE CASEMENT-HR
	W10	1	2085DC	24"	12"	SINGLE CASEMENT-HL
	W11	3	2018FX	24"	18"	FIXED GLASS
	W12	2	2418HD	33"	18"	SINGLE HOPPER
	W13	1	2418FX	33"	18"	FIXED GLASS
	W14	2	5018	68"	18"	MULLED UNIT-LHURHL
	W16	1	5018	68"	18"	CLOSET
	W17	1	5018x5	68"	18"	BBQ PASS-THRU
	W18	2	5818	102"	18"	KITCHEN ABOVE CABINET
	W19	2	1018TC	34"	18"	ENTERTAINMENT ROOM ENTERTAINMENT
	W20	1	1018TC	34"	18"	ENTERTAINMENT ROOM STAIRWELL
	W21	3	5718	153"	18"	MULLED UNIT-LHURHL
	W22	5	1018TC	34"	18"	TRIPLE CASEMENT
	W23	1	5618HD	68"	18"	SHOWER
	W25	8	11160	22 1/2"	12"	SKYLIGHT

WINDOW NOTES:

- 1 WOOD WINDOWS WITH ALUMINUM CLAD EXTERIOR
- 2 INTERIOR WINDOW MATERIALS: PAINTED OR STAINED WITH FACTORY FINISH, VERIFY WITH OWNER
- 3 WINDOW HARDWARE TO BE OWNER SELECTED AT TIME OF ORDER
- 4 WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES, UNO BY MFG
- 5 SEE WINDOW SCHEDULE CALLOUT FOR WINDOWS THAT USE A WOOD OR STEEL BEAM FOR THE HEADER
- 6 BEDROOM WINDOWS SILL FINISHED MUST BE WITHIN 44: OF THE FLOOR AND PROVIDE MINIMUM CLEAR OPENINGS OF 5.7 SQ. FEET WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20" - HRC R310.1-R310.1.4

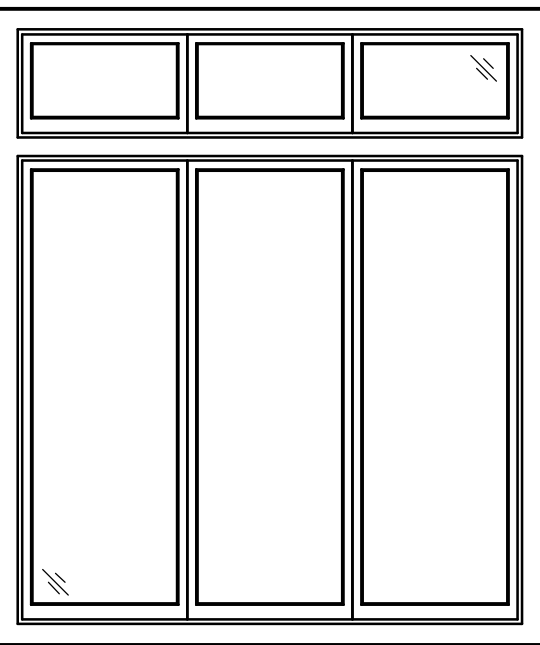
WINDOW FLASHING DETAIL



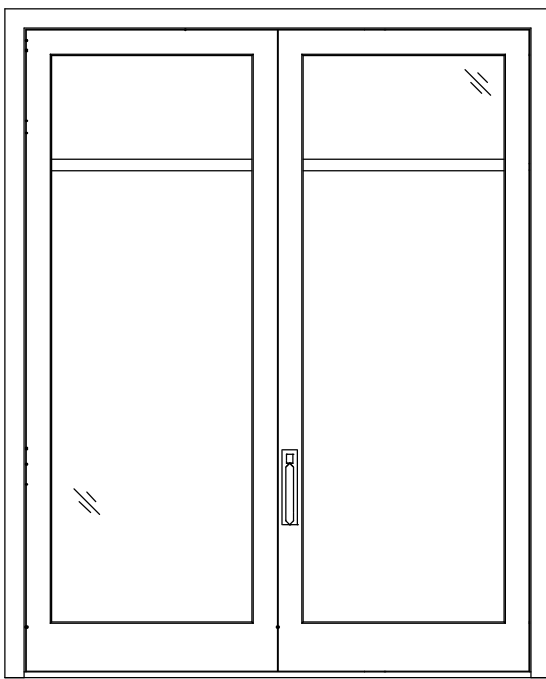
BASIC WINDOW FLASHING INSTALLATION*

- 1) PREPARE ROUGH OPENING: CUT STND. "I-CUT" IN THE WRB. CUT (2) 45° SLITS AT TOP TO CREATE FLAP. APPLY FLEXIBLE FLASHING AT SILL + 6" MIN. UP JAMBS. SECURE FLEXED EDGE OF FLASHING WITH MECHANICAL FASTENERS.
- 2) INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS.
- 3) APPLY FLASHING TAPE AT JAMBS, EXTENDING 1" ABOVE AND BELOW WINDOW HEAD FLANGE AND BOTTOM OF SILL FLASHING. APPLY FLASHING TAPE ALONG HEAD, EXTENDING BEYOND OUTER EDGES OF JAMB FLASHING.
- 4) REPLACE WRB FLAP AT HEAD AND TAPE REMAINING CUTS IN WRB

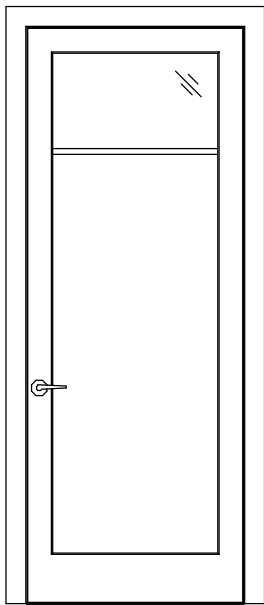
*REVISE INSTALLATION PROCESS ACCORDING TO WINDOW MANUFACTURER'S INSTRUCTIONS



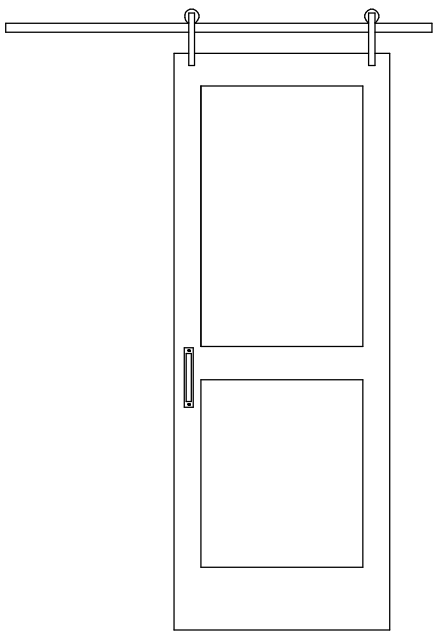
MULLED WINDOW



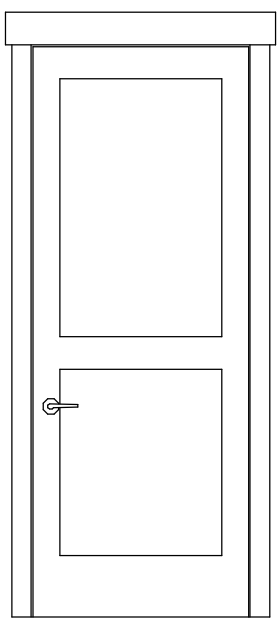
ENTRY DOOR UNIT



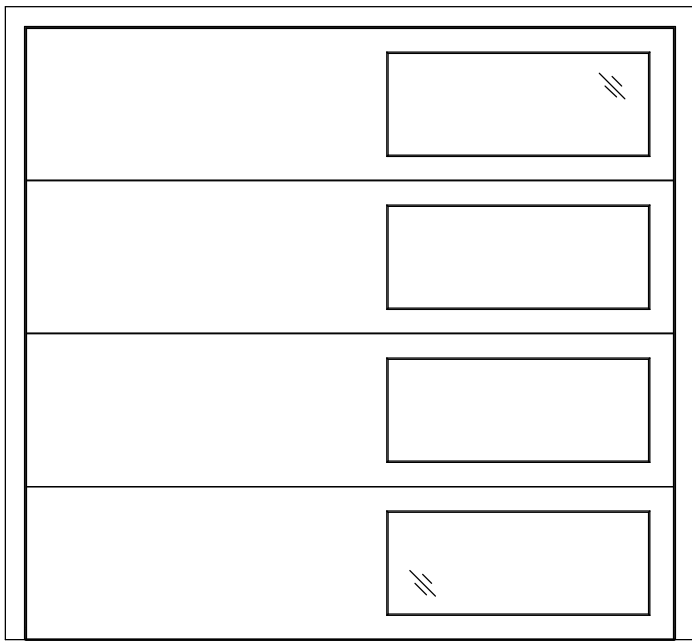
EXTERIOR DOOR



BARN DOOR



INTERIOR DOOR


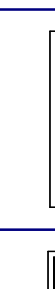
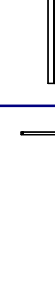

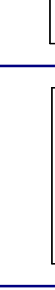










GARAGE DOOR

DOOR NOTES:

- 1. DOORS SHALL BE 96", UNO
- 2. ALL DOORS SHALL BE SOLID CORE 1 3/4" THICK, UNO
- 3. INTERIOR DOORS SHALL BE STAINED, VERIFY WITH OWNER. STAINED WITH FACTORY FINISH, VERIFY WITH OWNER. CASING: 3 1/2" PAINTED MDF, HEADER 5 1/2" PAINTED MDF
- 4. DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1 3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING
- 5. EXTERIOR DOORS SHALL BE WOOD WITH ALUMINUM CLAD. ENTRY DOOR SHALL BE ADLER PAINT OR STAIN.
- 6. EXTERIOR EXIT DOORS SHALL BE 36" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE
- 7. GARAGE DOORS TO BE SECTIONAL INSULATED, OVERHEAD DOORS. GLASS PANELS TO BE INSULATED
- 8. ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING
- 9. ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS
- 10. BARN DOORS, MEASURE TO FIT OPENING. ALL HARDWARE TO BE STAINLESS, UNO

DOOR SCHEDULE

DOOR SCHEDULE						
SEE EXTERIOR ELEVATION NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	FLOOR	
	D01	1	34"	108"	EXT. DOUBLE HINGED-GLASS ENTRY	1
	D02	1	72"	108"	EXT. DOUBLE HINGED-GLASS ENTRY	1
	D03	8	34"	96"	HINGED DOOR P03	1
	D04	3	36"	96"	EXT. HINGED-GLASS PANEL REAR	1
	D05	1	36"	96"	BARN-DOOR P03	1
	D06	1	48"	96"	BARN-GLASS PANEL OFFICE	1
	D07	3	34"	96"	POCKET-DOOR P03	1
	D08	1	32"	96"	2 DR. BIFOLD-DOOR P03	1
	D09	5	34"	96"	HINGED-DOOR P03	2
	D11	2	34"	96"	BARN-DOOR P03	2
	D12	1	72"	96"	SLIDER-DOOR P03	1
	D13	1	108"	102"	GARAGE-GLASS PANEL	1
	D14	1	216"	102"	GARAGE-GLASS PANEL	1

SHEET NUMBER

18

SCALE @ 24" X 36"

DATE:

DRAWN BY: S.H.

DOOR & WINDOW SCHEDULE

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GENERAL NOTES:

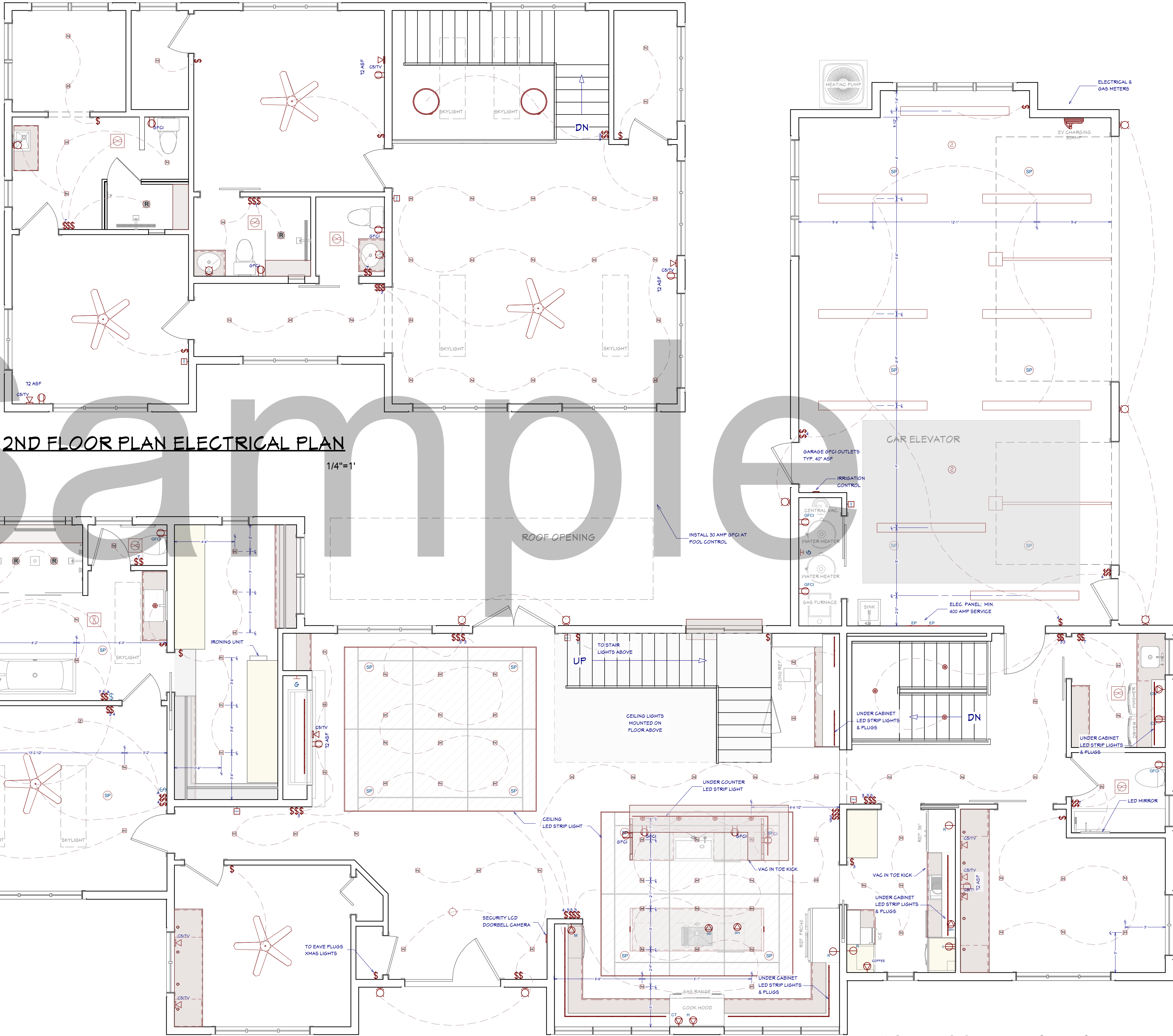
SUB CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION & PERMITS, MUST BE LICENSED, BONDED AND APPROVED BY THE BUILDING DEPT.

ELECTRICAL:

ELECTRICAL OUTLETS IN ROOMS SHALL BE INSTALLED PER CODE TYP.
HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, VACUUM, ETC.
PROVIDE MIN. 400 AMP SERVICE TO MAIN PANEL(S)
ALL APPLIANCES & UTILITIES TO HAVE DEDICATED CIRCUITS. SEE MFG'S SPECS. FOR REQUIREMENTS
ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, FOUNDATION AND GARAGE SHALL BE G.F.C.I. PER NATIONAL ELECTRICAL CODE REQUIREMENTS
ALL BEDROOM OUTLETS AND LIGHTS BE ARCH FAULT PROTECTED
ALL VENTILATION FANS SHALL BE ON TIMER SWITCHES, UNO.
PROVIDE ONE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
FIXTURES TO BE SELECTED BY HOME OWNER.
UNO - ALL SWITCHES TO BE 48" ASF. INTERIOR OUTLETS TO BE 15" ASF. OUTLETS OVER COUNTERTOPS TO BE 3" ABOVE COUNTER FROM BOTTOM. GARAGE OUTLETS TO BE 40" ASF. (ASF = ABOVE SUBFLOOR)
ALL LIGHTING SHALL BE DIMMABLE AND USE LED, UNO.

AUDIO:

LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q".
SYSTEM TO BE APPROVED BY HOME OWNER.
DATA / CABLE:
LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.



2ND FLOOR PLAN ELECTRICAL PLAN

1/4"=1'

1ST FLOOR ELECTRICAL PLAN

1/4"=1'

ELECTRICAL LEGEND

LIGHTING

- RECESSED 4" & 6" CANS / WET RATED
- PENDANTS / WALL LAMP / SCONCE
- UNDER CABINET LED PUCK / LED STRIP / CEILING LED
- FAN / FAN LIGHT. 200 CFM MIN.
- CEILING FAN W/ LIGHT

SWITCHES / OUTLETS

- SWITCH / 3-WAY / 4-WAY / TIMER

- OUTLETS - LED LIGHT / USB 5V & 120V / 120V WALL & CEILING GFCI / WATER PROOF / 220V
- APPLIANCE SPECIFIC: REFRIGERATOR / MICROWAVE / DISH WASHER / DISPOSAL
- COOK HOOD / WASHER / DRYER / WALL OVEN

OTHER MEP

- CATS / CAT5 & COAX RG6QS / CENTRAL VAC / HOME SECURITY PANEL
- SMOKE DETECTOR / THERMOSTAT / GAS CONNECTION / DOOR BELL
- WALL CONTROLLED VOLUME SWITCH / IN-WALL OR CEILING MOUNTED SPEAKERS

ELECTRICAL PLAN

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SHEET NUMBER

19

SCALE @ 24" X 36"

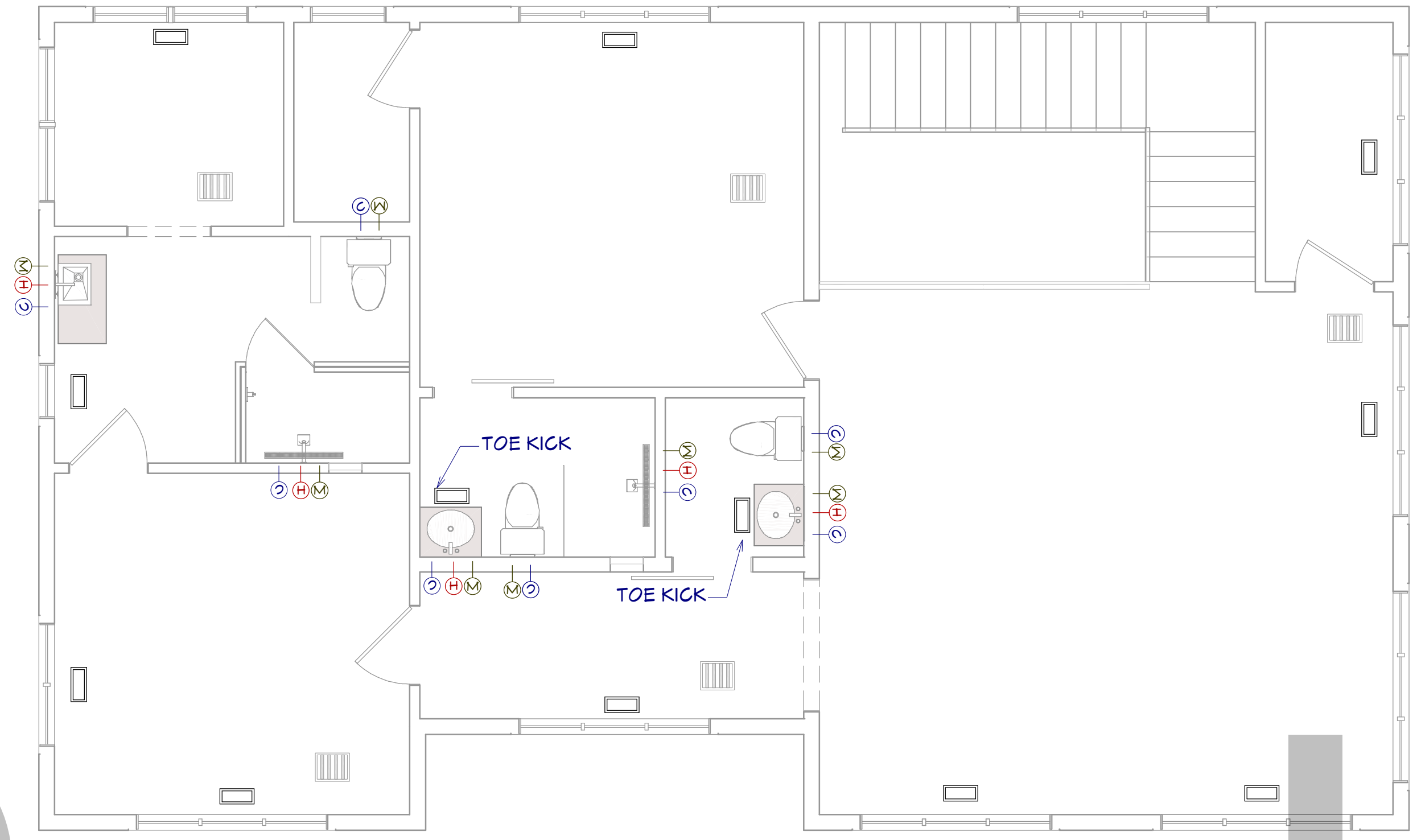
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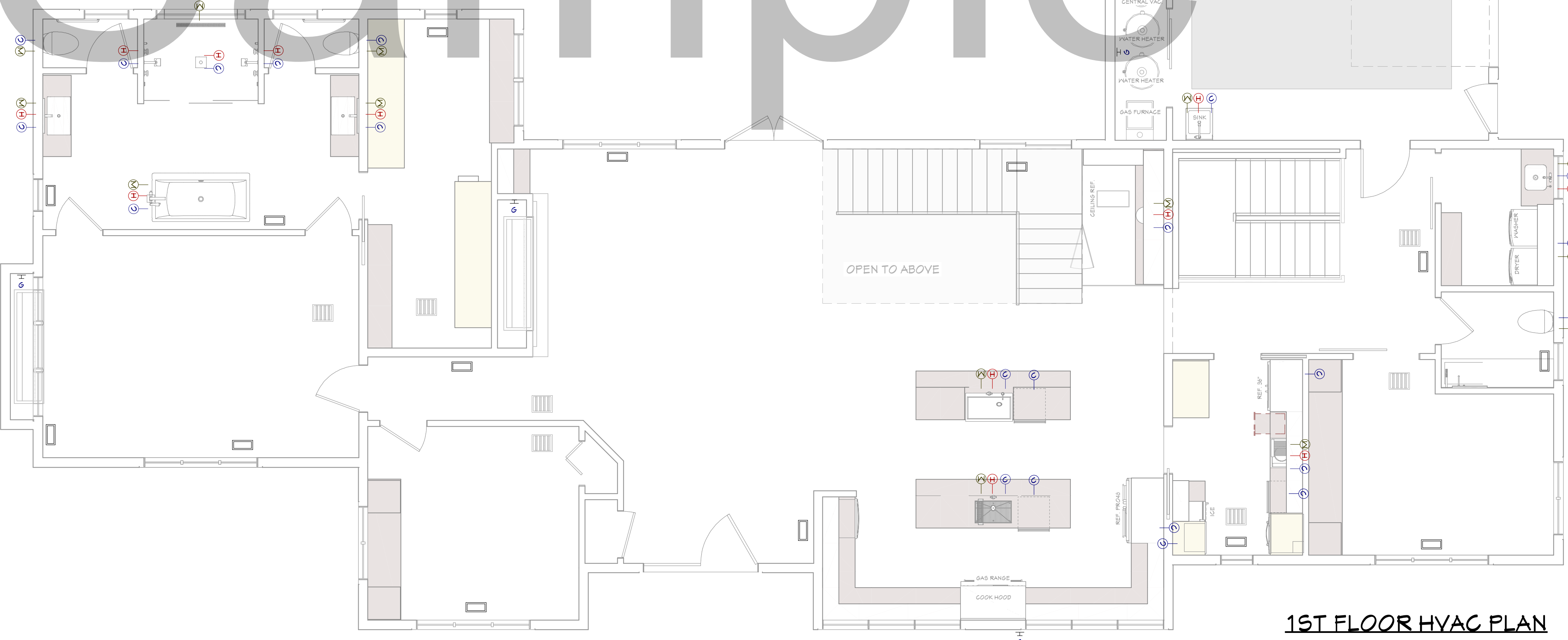
GENERAL PLUMBING & HVAC NOTES:

1. SUB CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION & PERMITS, MUST BE LICENSED, BONDED AND APPROVED BY THE BUILDING DEPT.
2. HVAC SHALL HAVE TWO ZONES, ONE FOR EACH FLOOR:
 - A. FLOOR ONE SHALL HAVE HYDRONIC RADIANT FLOOR HEAT WITH AC PROVIDED BY A HEAT PUMP
 - B. FLOOR TWO SHALL USE A HEAT PUMP(S) FOR HEAT AND AC
3. INSULATE HEATING TRUNK AND BRANCH SUPPLY DUCTS IN UNFINISHED AREAS, CRAWL SPACES, ATTICS GARAGES, ETC
4. ALL DUCTING SHALL BE THRU FLOOR TRUSSES / JOISTS
5. ALL PEX TUBING FOR RADIANT HEAT SHALL BE INSTALLED OVER 2" XPS (EXTRUDED POLYSTYRENE FOAM)
6. RADIANT HEAT SHALL BE POWERED BY A SIX-ZONE CONTROLLER
7. ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS/TRUSSES SHALL HAVE CLEAR CROSS VENTILATION AREA TO THE OUTSIDE VENTS. 1/150 OF SPACE VENTILATED FOR GABLE VENTS. 1/3000 OF SPACE VENTILATED FOR BOTH GABLE AND EAVE VENTS.
8. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER. VENT DRYER VENT, MAX. LENGTH OF DUCT 14' WITH TWO 90 DEGREE ANGLES.
9. PROVIDE 30" CLEARANCE FROM RANGE TOP TO COMBUSTIBLE MATERIALS. FOR EXCEPTIONS, SEE INT. MECHANICAL CODE. SIDE CLEARANCE SHALL BE AS SPECIFIED BY PERMANENT MARKING ON THE UNIT. - IRC M1901.1
10. WATER CLOSETS TO HAVE A FLOW RATE OF 1.6 GALLONS OR LESS PER FLUSH -IRC P2903.2
11. SHOWER HEADS TO HAVE FLOW RATE OF 2.5 GALLONS PER MINUTE OR LESS. - IRC P2903.2
12. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE.
13. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 84" ABOVE SHOWER DRAINS.
14. WATER SOFTENER UNIT, IF INSTALLED, SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE. WATER TO REFRIGERATOR, KITCHEN AND BATH SINKS SHALL NOT HAVE CONDITION WATER.
15. EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE.
16. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
17. INSULATE WASTE LINES FOR SOUND CONTROL.
18. INSTALL CENTRAL VACUUM SYSTEM & PIPING AND INSULATE LINES FOR SOUND CONTROL. CONFIRM BRAND WITH HOMEOWNER.



2ND FLOOR HVAC PLAN

1/4"=1'



1ST FLOOR HVAC PLAN

1/4"=1'

SHEET NUMBER

20

SCALE @ 24" X 36"

DATE:

DRAWN BY: S.H.

PLUMBING & HVAC

PLAN

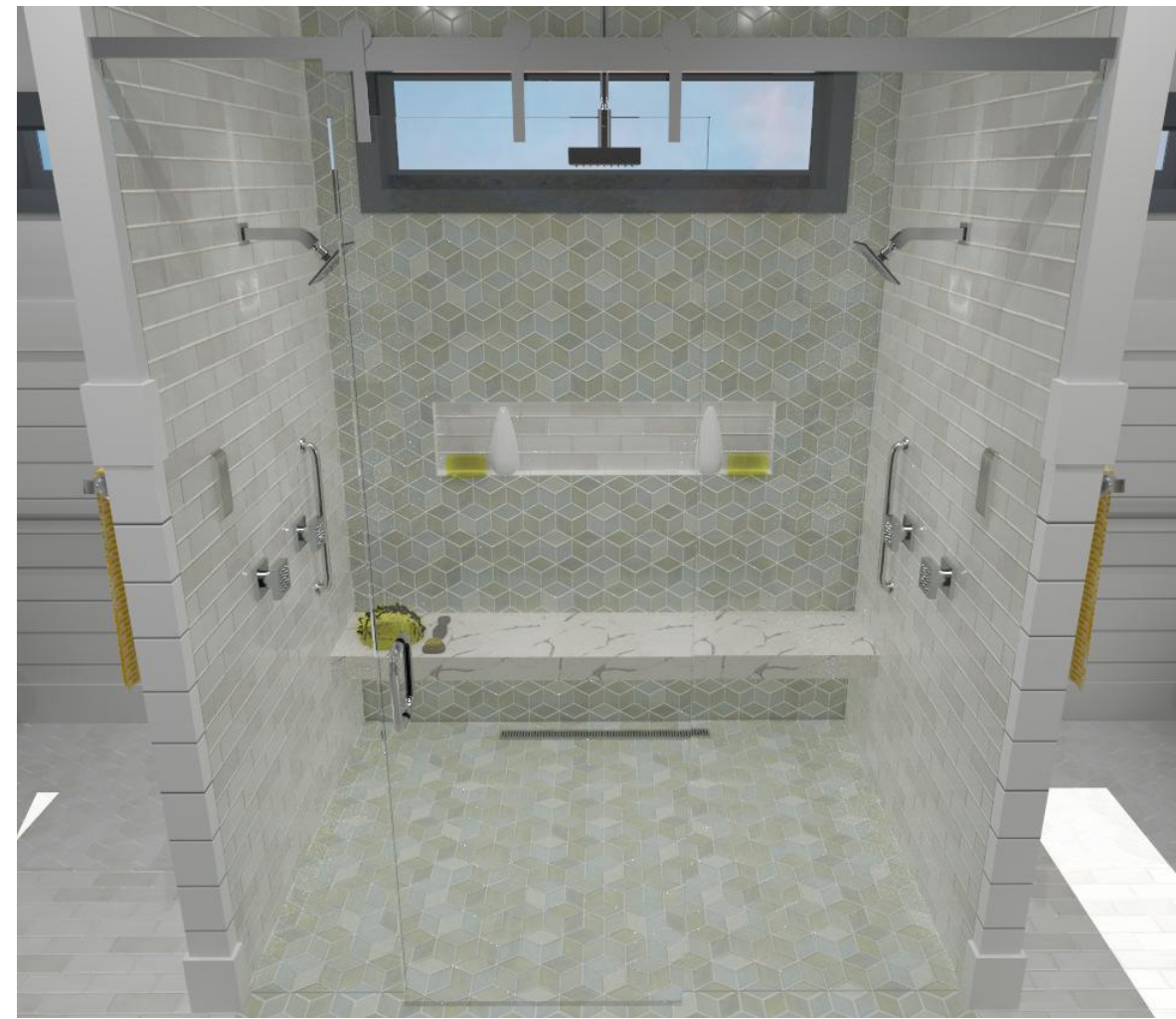
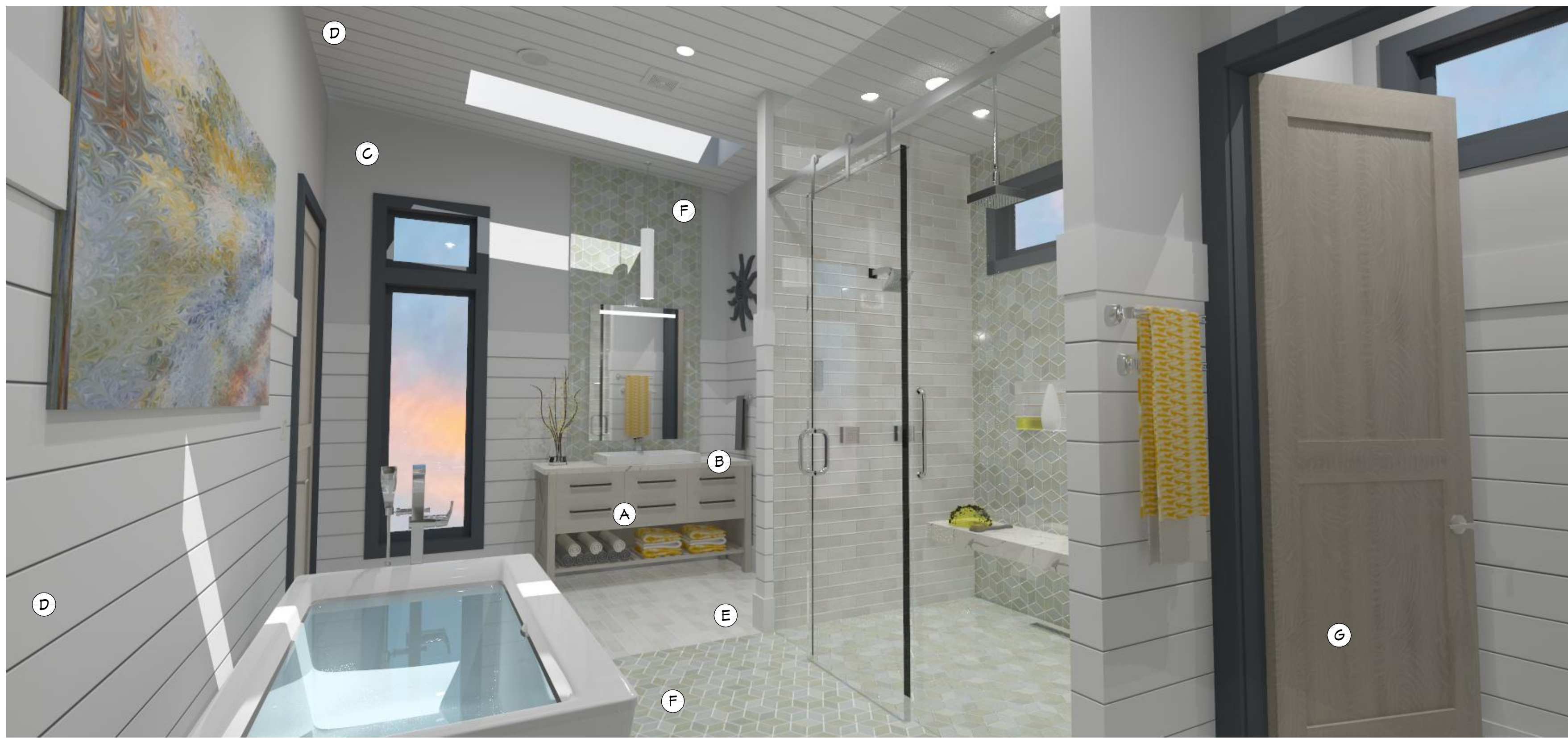
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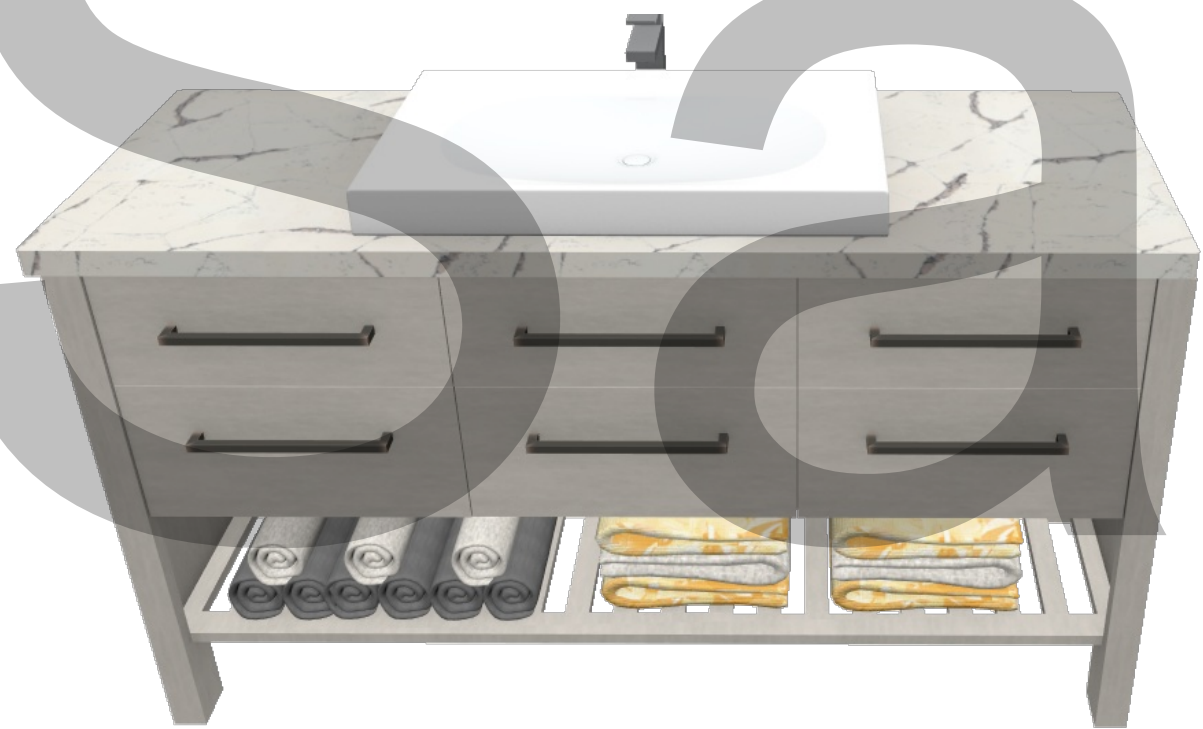
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BATH SUITE RENDERS
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A MAPLE STAINED
BENJAMIN MOORE
AF-680

B CAMBRIA
HARROGATE

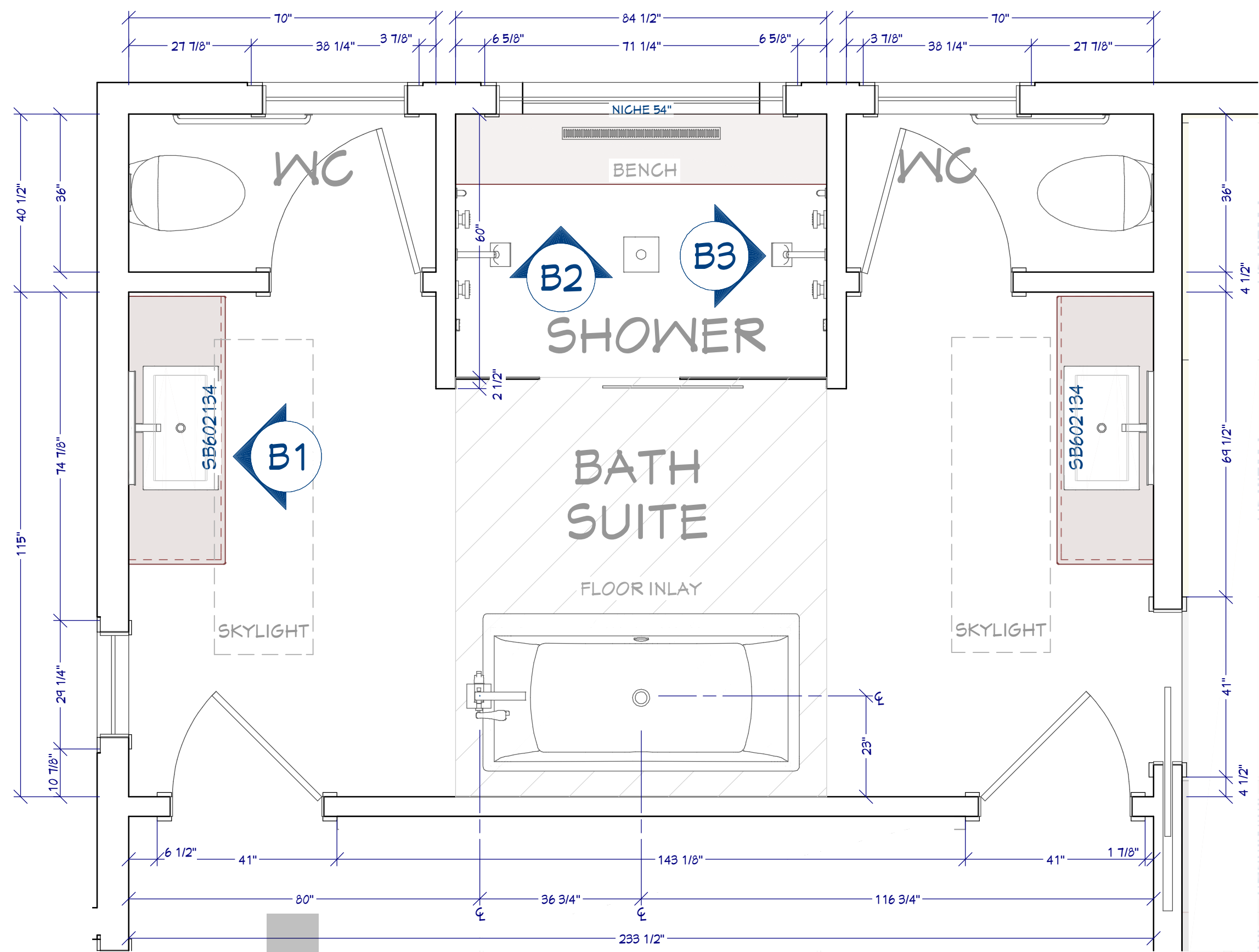
C BENJAMIN MOORE
1471 SHORELINE

D WHITE SHIPLAP

E MERCURY MOSAICS
130 WHITE - 3X6
SUBWAY

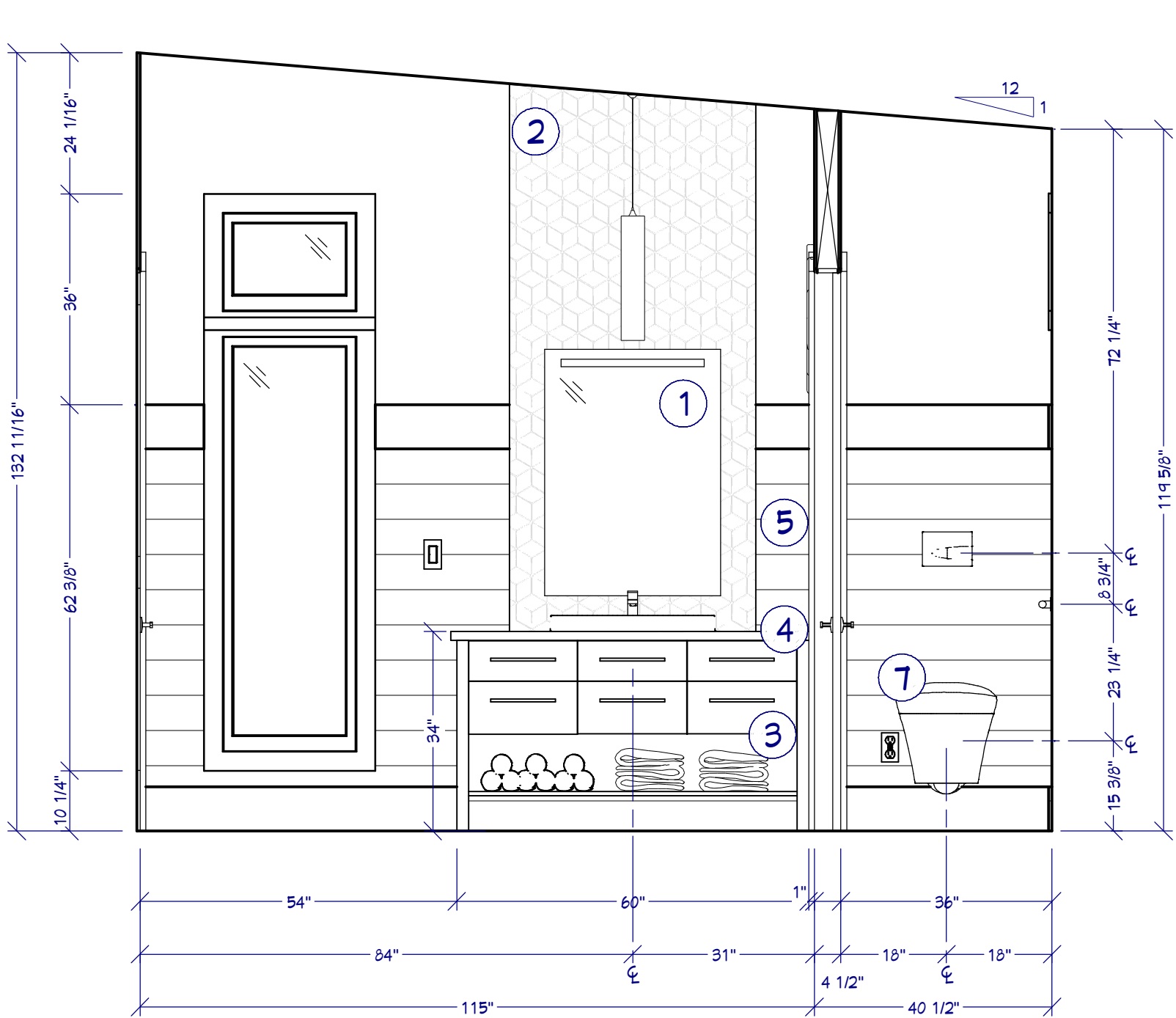
F MERCURY MOSAICS
22E BLUE OPAL -
MEDIUM DIAMONDS

G MERCURY MOSAICS
22E BLUE OPAL -
MEDIUM DIAMONDS



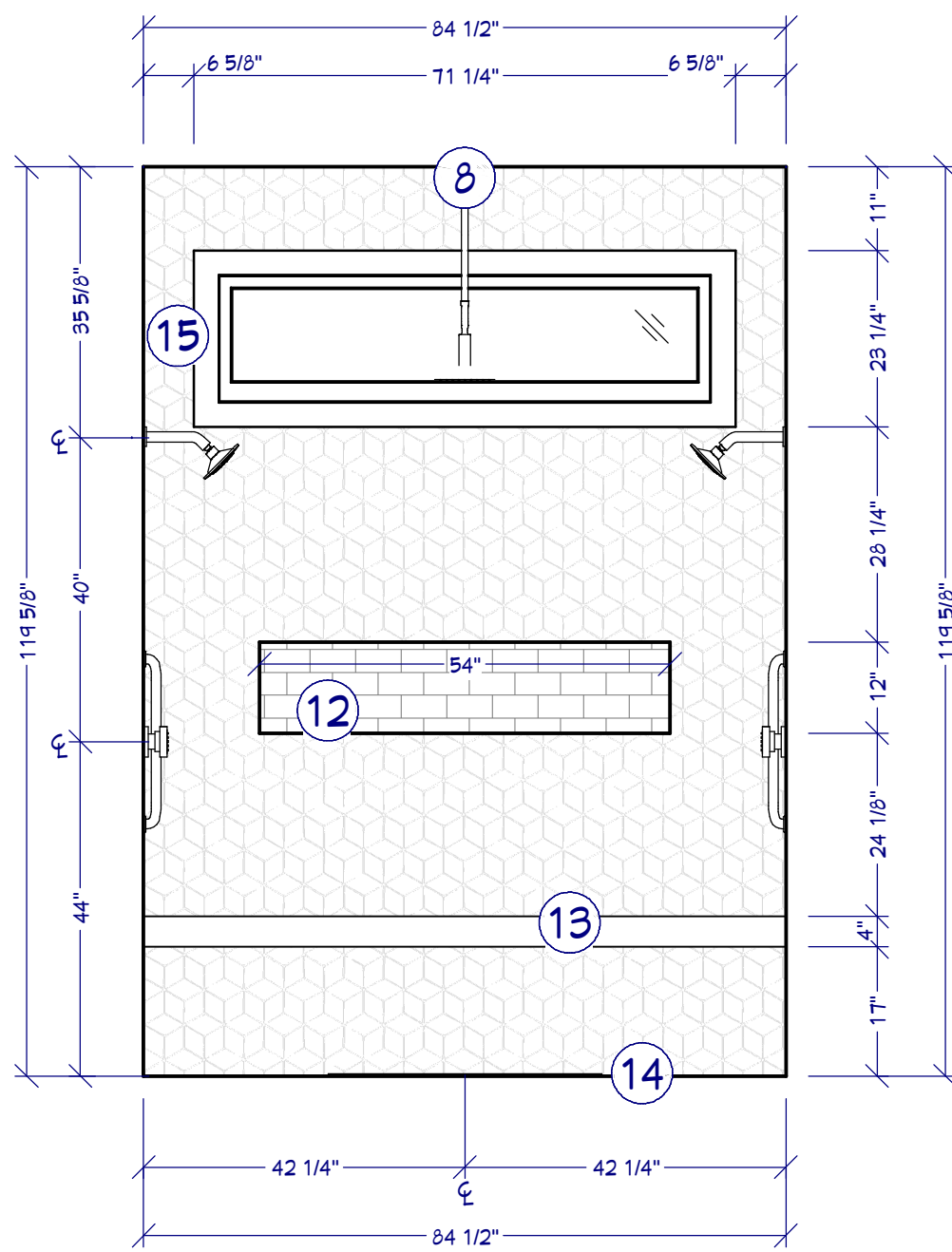
BATH SUITE PLAN

1/2"=1'



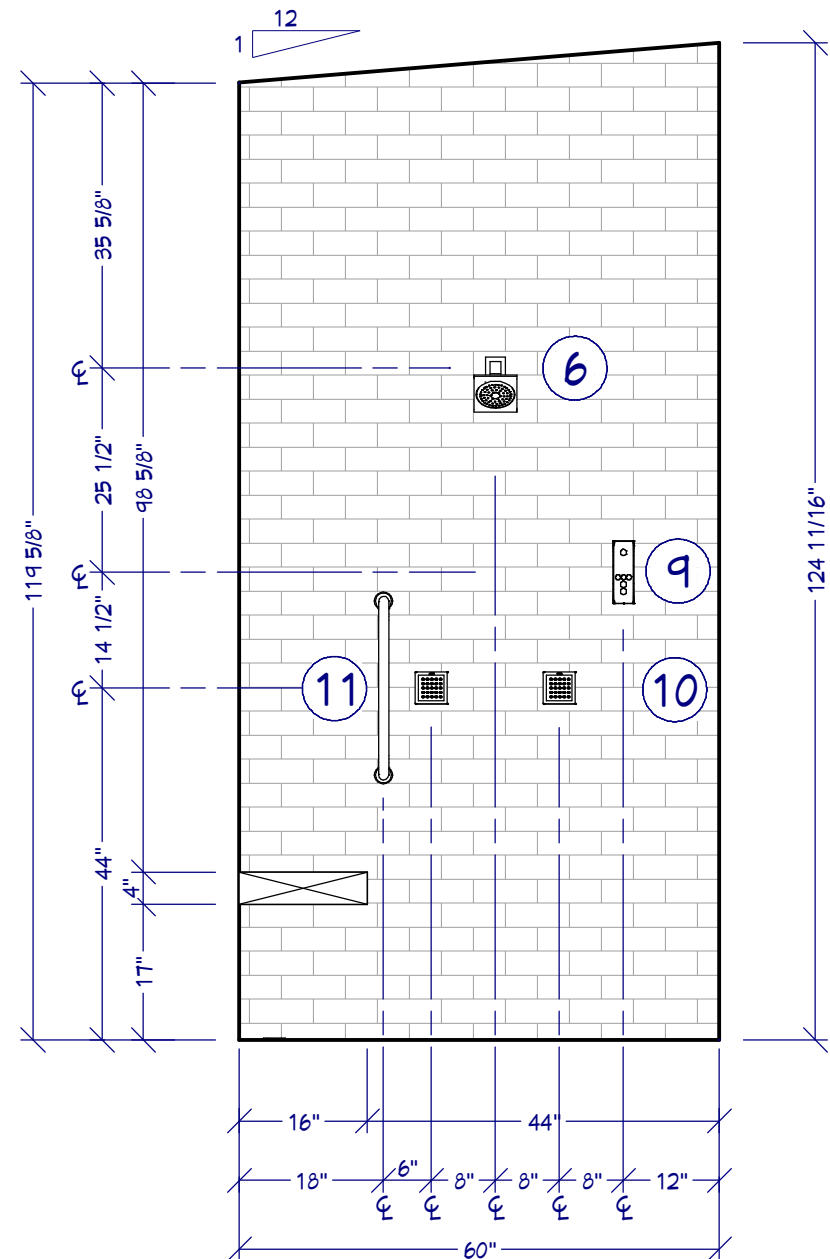
B1 BATH SUITE MAIN WALL

1/2"=1'



B2 SHOWER ELEVATION

1/2"=1'



B3 SHOWER ELEVATION

1/2"=1'

FIXTURES

ITEM	QTY	DESCRIPTION	MANUFACTURER
1	1	FLOOR MOUNT TUB FILLER TRIM	DELTA
2	1	K-2887 ANTELLA FRADING POOL GLASS COUNTERTOP BATHROOM SINK	KOHLER
3	1	K-5887 STARGAZE FREESTANDING BATH	KOHLER
4	2	SINGLE HANDLE PROJECT PACK LAVATORY FAUCET	DELTA
5	1	K-1381B CONTEMPORARY SQUARE RAINHEAD WITH KATALYST AIR INDUCTION SPRAY	KOHLER
6	2	SHOWERHEAD	DELTA
7	1	STRIP DRAIN	TBD
8	4	SURFACE MOUNT BODY SPRAY	DELTA
9	1	K-5402 VEIL INTELLIGENT WALL-HUNG TOILET	KOHLER
10	1	K-5402 VEIL INTELLIGENT WALL-HUNG TOILET	KOHLER

BATH NOTES

- LED MIRROR
- TILE, PER PLAN
- CUSTOM VANITY
- LOW PROFILE VESSEL SINK
- SHIPLAP PANEL
- SHOWER HEAD
- WALL HUNG TOILET
- RAIN SHOWER HEAD
- SHOWER DTV CONTROL
- BODY SPRAY
- GRAB BAR MIN. 250 LBS.
- NICHE
- FLOATING BENCH
- STRIP DRAIN
- HOPPER WINDOW

BATH SUITE PLAN & ELEVATIONS

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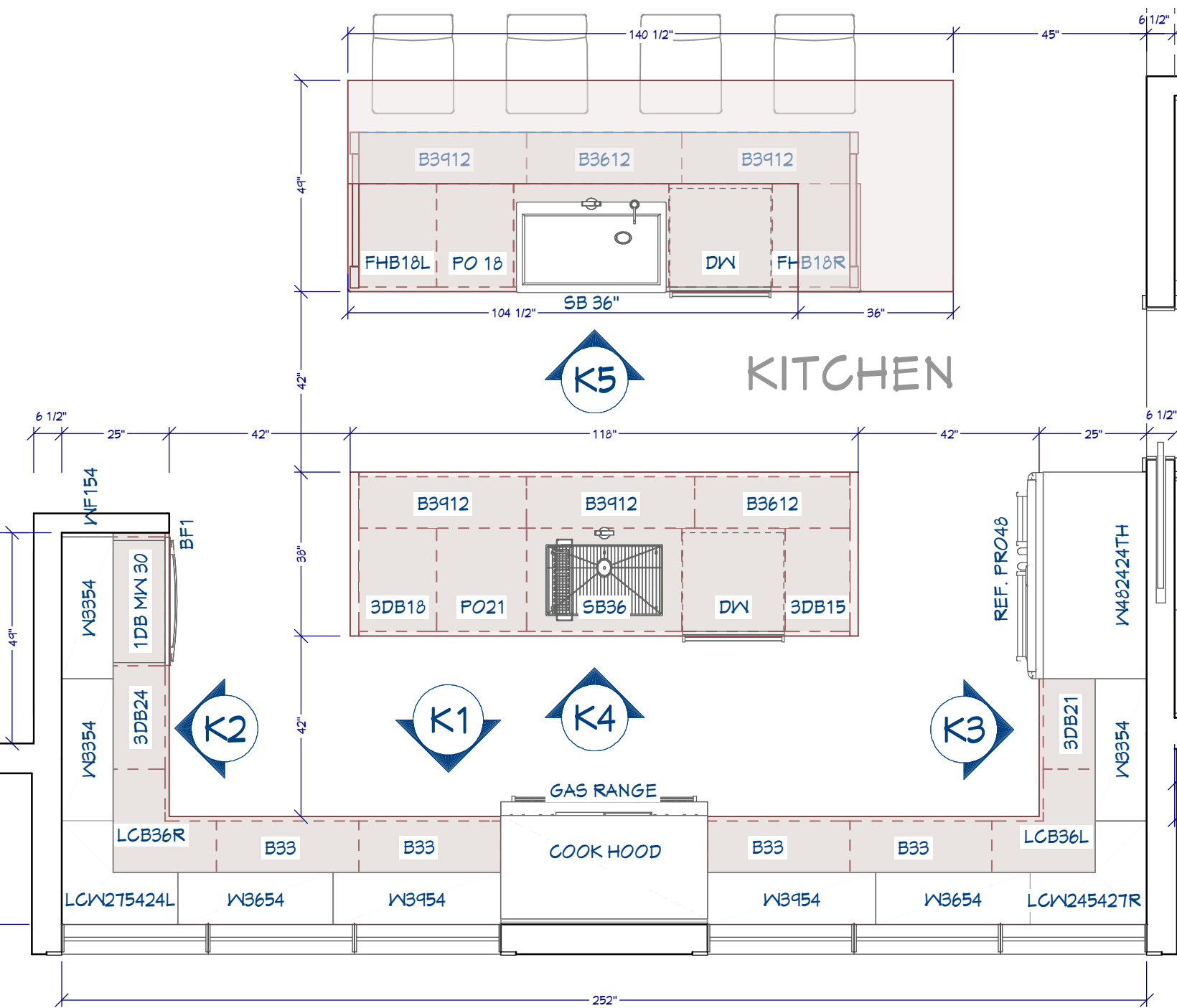
SHEET NUMBER

SCALE @ 24" X 36"

DATE:

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21

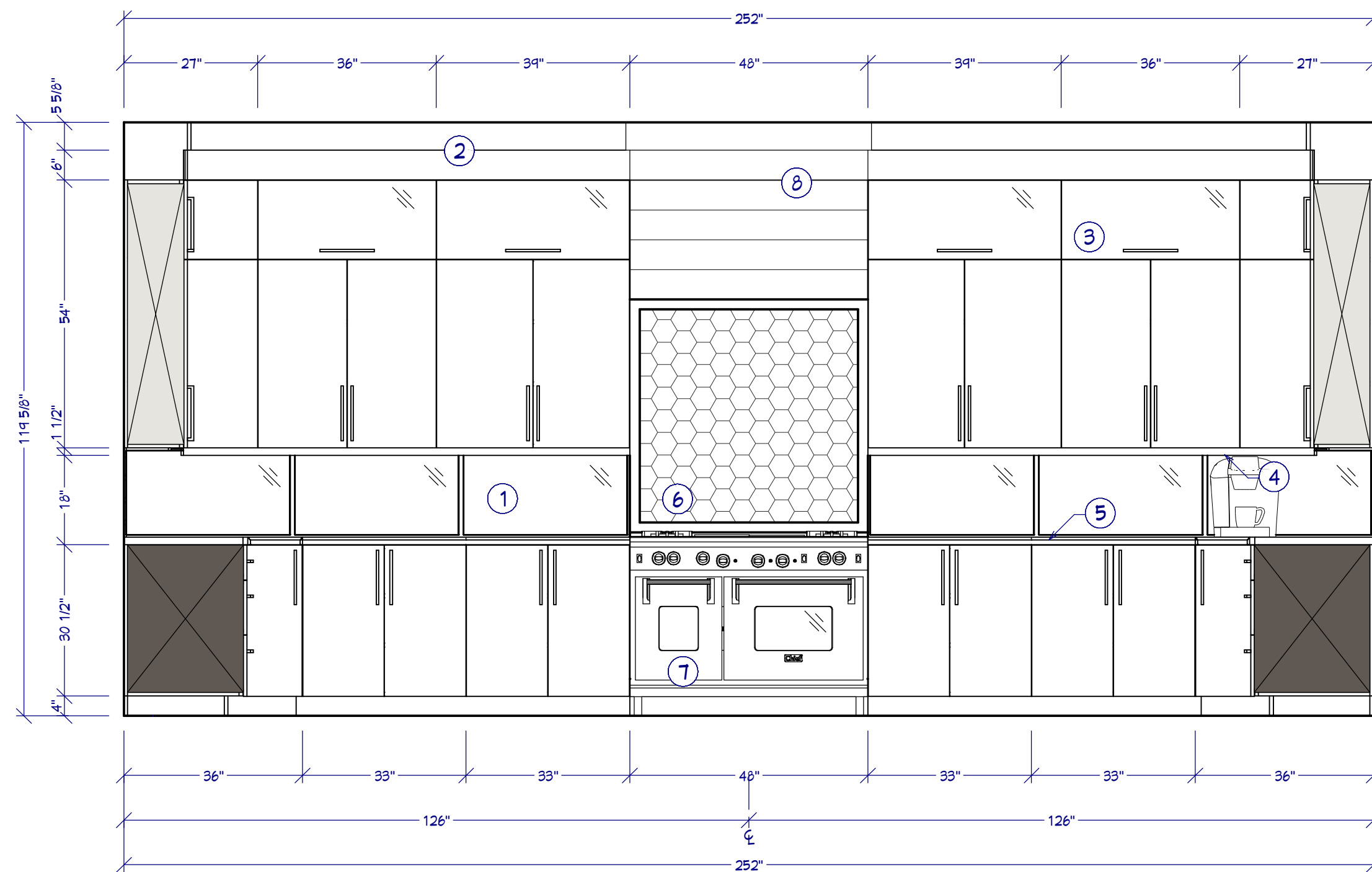
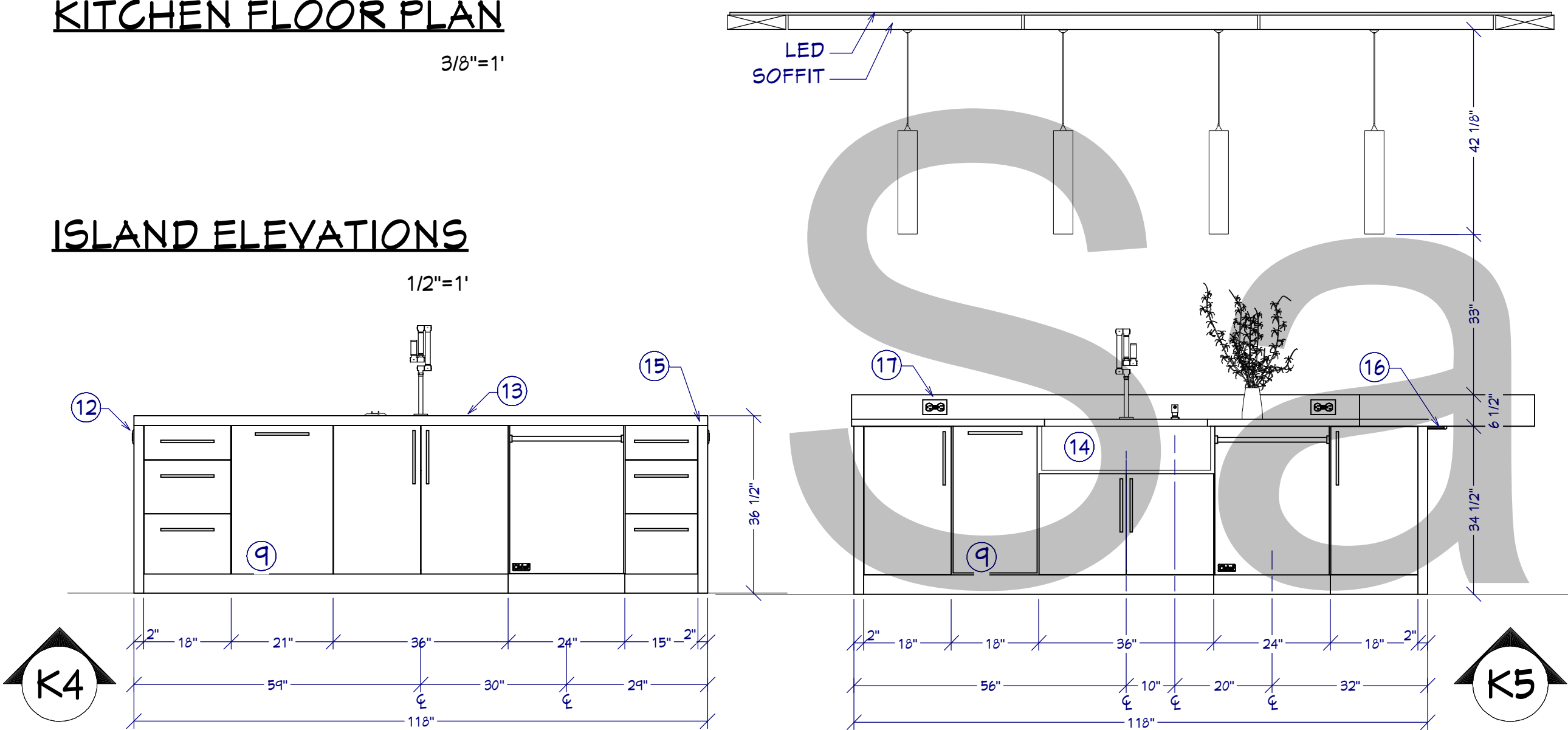


KITCHEN FLOOR PLAN

3/8"=1'

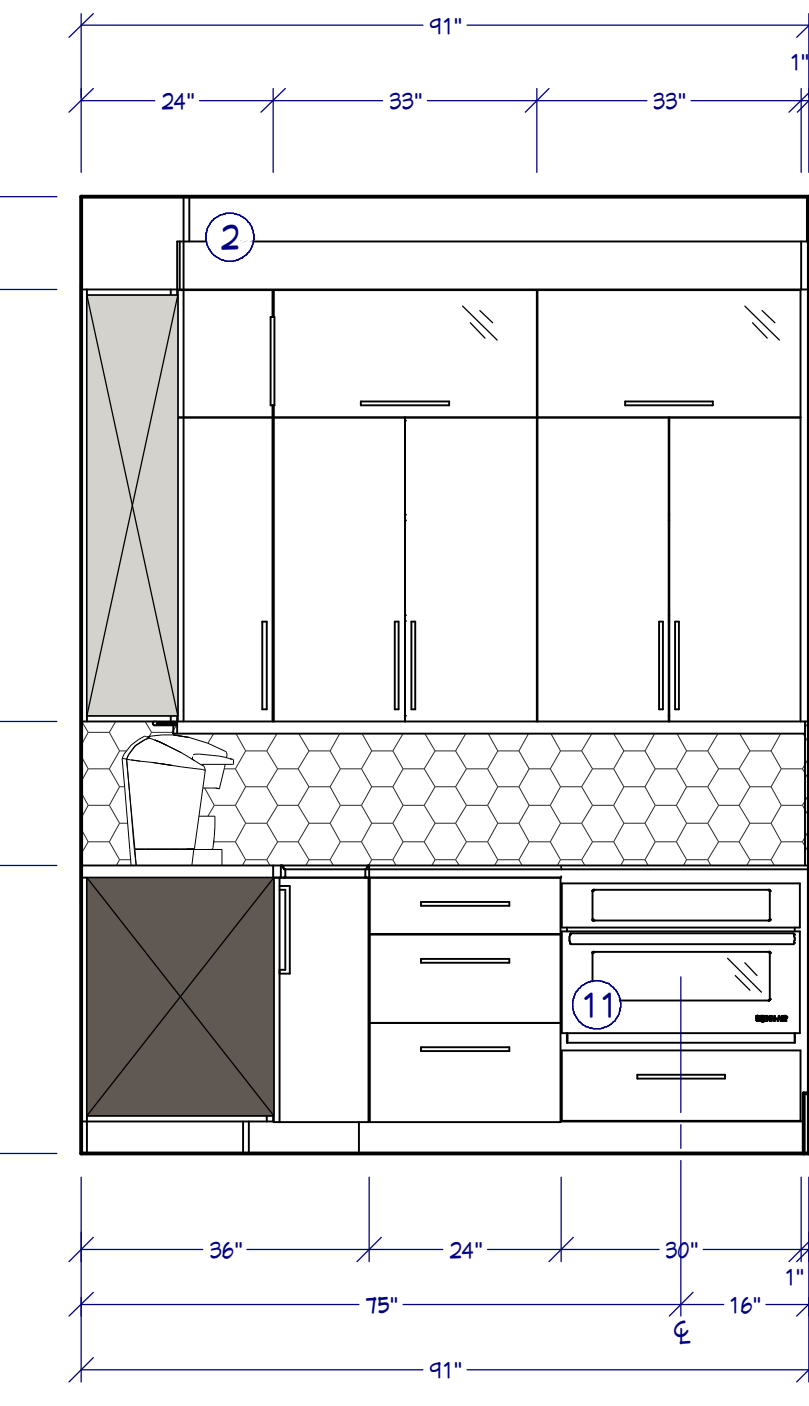
ISLAND ELEVATIONS

1/2"=1'



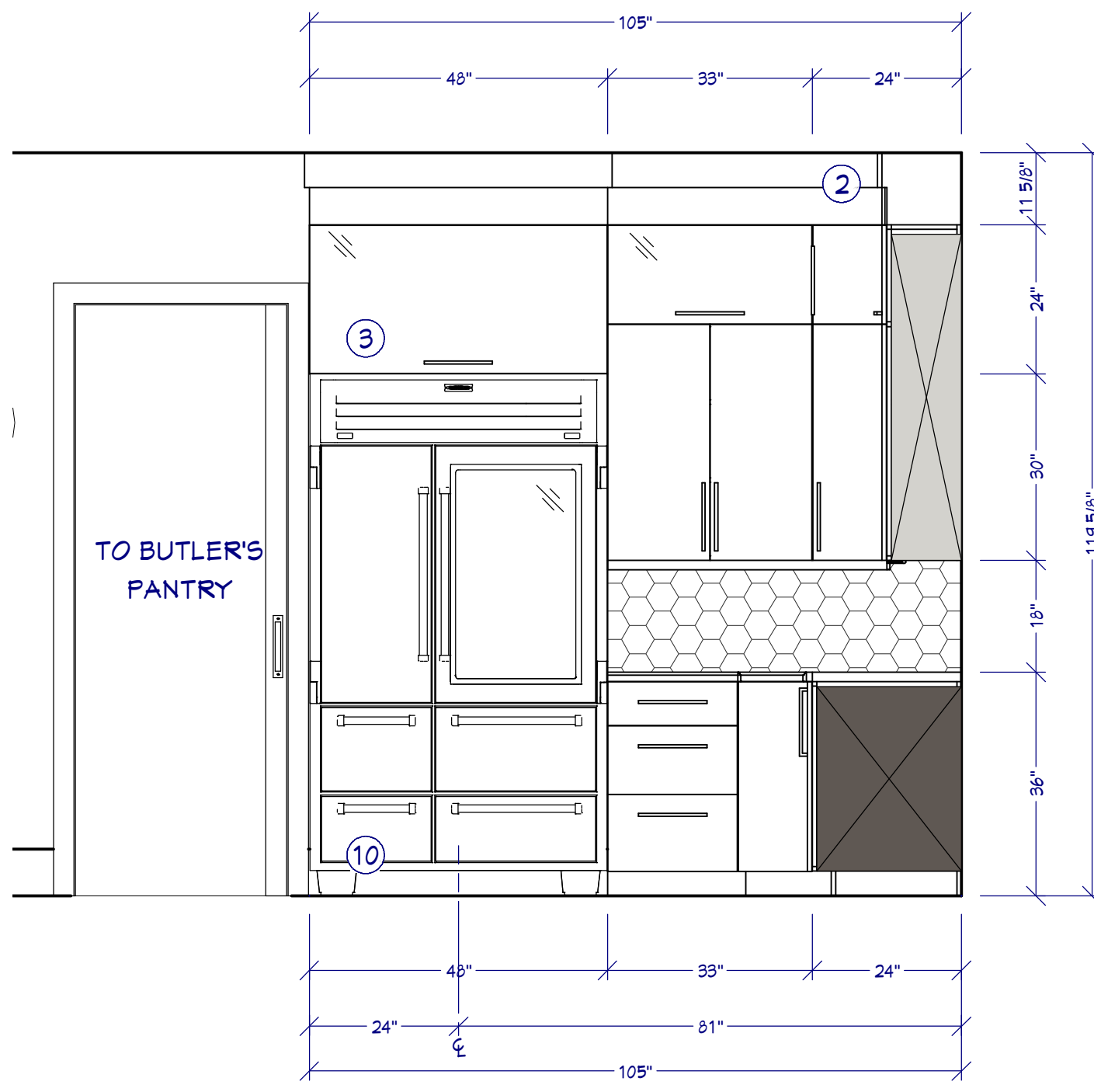
K1 MAIN WALL ELEVATION

1/2"=1'



K2 SIDE WALL ELEVATION

1/2"=1'



K3 SIDE WALL ELEVATION

1/2"=1'

KITCHEN & CABINET NOTES:

- 1 ALL CABINETS FRAMELESS WHITE OAK
- 2 CONFIRM FINISH & STAIN/PAINT WITH CLIENT PRIOR TO ORDERING
- 3 CONFIRM DOOR & DRAWER STYLES WITH CLIENT PRIOR TO ORDERING
- 4 INSTALL HARDWARE ON SITE
- 5 INSTALL CROWN MOLDING ON SITE; CONFIRM PROFILE AND DIMENSION WITH HOME OWNER
- 6 CABINET SUPPLIER RESPONSIBLE FOR FINAL MEASUREMENTS & CABINET OPENINGS FOR APPLIANCES SPECIFICATIONS
- 7 ALL APPLIANCES TO BE ON DEDICATED CIRCUITS, UNO. REFER TO APPLIANCE SPECIFICATIONS FOR AMP/VOLTAGE REQUIREMENTS
- 8 USE MIN 6" DUCT FOR HOOD. COOK HOOD 600 CFM MIN.
- 9 CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH CLIENT PRIOR TO ORDERING
- 10 ALL DRAWERS TO BE TONGUE & GROOVE; GLIDES TO BE SOFT CLOSE
- 11 LED STRIP LIGHTS FOR WALL CABINETS AND UNDER ISLAND
- 12 UNDERCOUNTER GFCI ELECTRICAL PLUGS
- 13 COUNTER FABRICATION: CONFIRM ALL FIXTURE MEASUREMENTS AND CENTERLINES

CABINET SCHEDULE

Q01	Q01S	1	18"	24"	36"	BASE CABINET
Q02	Q02S	1	18"	24"	36"	BASE CABINET
Q03	Q03S	1	21"	24"	36"	BASE CABINET
Q04	Q04S	1	24"	24"	36"	BASE CABINET
Q05	Q05S	4	36"	24"	36"	BASE CABINET
Q06	Q06S	1	36"	12"	34 1/2"	BASE CABINET
Q07	Q07S	1	36"	12"	36"	BASE CABINET
Q08	Q08S	2	36"	12"	34 1/2"	BASE CABINET
Q09	Q09S	2	36"	12"	36"	BASE CABINET
Q10	Q10S	1	18"	24"	36"	BASE CABINET
Q11	Q11S	1	18"	24"	36"	BASE CABINET
Q12	Q12S	1	36"	36"	36"	CORNER BASE CABINET
Q13	Q13S	1	36"	36"	36"	CORNER BASE CABINET
Q14	Q14S	1	24"	21"	34"	CORNER WALL CABINET
Q15	Q15S	1	21"	24"	34"	CORNER WALL CABINET
Q16	Q16S	1	36"	24"	36"	END BASE CABINET
Q17	Q17S	1	36"	24"	34 1/2"	APRON BASE
Q18	Q18S	2	36"	12"	36"	PULL CABINET
Q19	Q19S	2	36"	12"	34"	PULL CABINET
Q20	Q20S	1	48"	24"	34"	PULL CABINET
Q21	Q21S	1	30"	24"	36"	BASE CABINET MICROWAVE DRAWER
Q22	Q22S	1	18"	24"	36"	PO DOUBLE WATER CONTAINER
Q23	Q23S	1	21"	24"	36"	BASE CABINET WHITE PULLOUT
Q24	Q24S	1	11"	24"	36"	BASE CABINET FILLER
Q25	Q25S	1	11"	12"	34"	PULL CABINET FILLER
Q26	Q26S	3	30"	12"	34"	PULL CABINET

RENDERINGS

FOR ILLUSTRATION ONLY

NO SCALE



KITCHEN KEY NOTES:

- 1 TEMPERED GLASS WINDOWS
- 2 CROWN MOLDING
- 3 RAIN WATER GLASS
- 4 UNDER CAB LED LIGHTING & STRIP PLUGS
- 5 OGEE EDGE PROFILE
- 6 FRAMED BACKSPLASH
- 7 GAS COOK RANGE / ELECTRIC OVEN
- 8 CUSTOM COOK HOOD
- 9 WASTE PULLOUT
- 10 SUBZERO PRO48 REF.
- 11 MICROWAVE DRAWER
- 12 COUNTER MOUNTED OUTLETS, EACH SIDE
- 13 KOHLER UNDERMOUNT SINK
- 14 STAINLESS APRON SINK
- 15 BUTT EDGE WATERFALL
- 16 UNDERMOUNT LED LIGHT
- 17 COUNTER MOUNTED OUTLET